



## **OPEN MEETING**

### **REGULAR MEETING OF THIRD LAGUNA HILLS MUTUAL ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE\***

**Monday, October 24, 2022 – 9:30 a.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

Laguna Woods Village owners/residents are welcome to participate in all open committee meetings and submit comments or questions virtually using one of the following options:

1. Join the committee meeting via a Zoom link at: <https://us06web.zoom.us/j/93156707417> or by calling 669-900-6833 Webinar ID:93156707417.
2. Via email to [meeting@vmsinc.org](mailto:meeting@vmsinc.org) any time before the meeting is scheduled to begin or during the meeting. Please use the name of the committee in the subject line of the email. Your name and unit number must be included.

### **NOTICE AND AGENDA**

*This Meeting May Be Recorded*

1. Call Meeting to Order
2. Approval of the Agenda
3. Approval of the Meeting Report for September 26, 2022
4. Remarks of the Chair
5. Member Comments - *(Items Not on the Agenda)*
6. Response to Member Comments
7. Department Head Update
  
8. Consent: *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*
  
9. Over-The-Counter Variances - None
  
10. Variance Requests
  - a. 5458: Slab Extension From Driveway
  - b. 3207-D: Remove Patio Enclosure and Replace with Room Addition, Bathroom, Closet
  - c. 3507-A: Extend Bedroom 1, Bedroom 2 and Living Room and Install Patio Gate

- d. 3212-D: Install Family Room with a Laundry Room Between Master Bedroom and Garage
- 11. Items for Discussion and Consideration
  - a. Date of Next Meeting
- 12. Items for Future Agendas
  - a. Under 32 SF and Under 100 SF Asbestos Abatement To Be Performed As a Chargeable Service
  - b. Revised Resale Inspection Fee Schedule
- 13. Committee Member Comments
- 14. Date of Next Meeting: TBD
- 15. Adjournment

\*A quorum of the Third Board or more may also be present at the meeting.

Jim Cook, Chair  
Baltazar Mejia, Staff Officer  
Telephone: 949-597-4616



**OPEN MEETING**

**REPORT OF THE REGULAR OPEN MEETING OF THE  
THIRD LAGUNA HILLS MUTUAL  
ARCHITECTURAL CONTROLS AND STANDARDS COMMITTEE**

**Monday, September 26, 2022 – 9:30 a.m.  
Laguna Woods Village Board Room/Virtual Meeting  
24351 El Toro Road, Laguna Woods, California**

**REPORT**

**MEMBERS PRESENT:** Jim Cook – Chair, Ralph Engdahl, Nathaniel Ira Lewis,  
Cris Prince, Mark Laws

**OTHERS PRESENT:** Michael Butler, Advisor

**MEMBERS ABSENT:** Michael Plean, Advisor

**STAFF PRESENT:** Robbi Doncost-Manor Alterations Manager  
Gavin Fogg – Manor Alterations Supervisor  
Abraham Ballesteros-Inspector II, Manor Alterations  
Manuel Gomez-Maintenance & Construction Director  
Kristen Valdovinos-Manor Alterations Coordinator  
Sandra Spencer-Administrative Assistant

**1. Call Meeting to Order / Establish Quorum**

Chair Cook called the meeting to order at 9:30 a.m.

**2. Approval of the Agenda**

Hearing no objection, the agenda was unanimously approved as written.

**3. Approval of Meeting Reports for August 22, 2022**

Hearing no objection, the meeting report was unanimously approved as written.

**4. Chair's Remarks**

Chair Cook remarked that Director Frankel has retired from the committee and thanked him for his time, efforts and service. Mark Laws will be filling in on the committee until a new member is assigned.

**5. Member Comments - (Items Not on the Agenda)**

None.

**6. Response to Member Comments**

None.

**7. Division Manager Update**

Mr. Doncost updated the committee on staffing issues in Manor Alterations; the number of phone calls received daily by the department; and introduced Kristen Valdovinos as the new Manor Alterations Coordinator.

**8. Consent:** *All matters listed under the Consent Calendar are considered routine and will be enacted by the Committee by one motion. In the event that an item is removed from the Consent Calendar by members of the Committee, such item(s) shall be the subject of further discussion and action by the Committee.*

No items on the consent calendar for review.

**9. Over-The-Counter Variances**

None.

**10. Variance Requests:**

a. 3467-B: Retain Patio Extension into Common Area

The variance was introduced by Mr. Ballesteros. Discussion ensued and staff answered questions from the committee regarding the prior-approved canopy; safe access to the electrical panel; and the original design of the slab being problematic with regard to drainage.

- Two members emailed comments in support of the variance request.

A motion was made to approve the variance to retain the patio extension into common area. Hearing no objection, the variance was approved by unanimous consent.

b. 5458: Slab Extension from Driveway



The variance was introduced by Mr. Ballesteros. Discussion ensued regarding a similar request being approved at a prior ACSC committee meeting; the relocation of planting material to screen the extension from the street; the space between the adjacent driveway and manor; fire department access; and the possibility of members creating golf cart parking spots on their properties.

Ultimately, no vote was taken and the committee directed staff to clarify the measurements and to obtain input from the members on the cul-de-sac for discussion and consideration at the next committee meeting.

c. 3415-A: Remove and Support 3 Structural Kitchen Walls

The variance was introduced by Mr. Ballesteros. The committee asked questions regarding the complexities of such a variance request. Staff clarified that the member would still need to obtain a permit from the City of Laguna Woods; the Conditions of Approval require a shoring plan; and who would be responsible should any damage occur to the manor above. Advisor Butler suggested exceptions should this variance become an Over-the-Counter Variance.

- A member emailed comments on structural integrity and voiced opposition to this variance.
- A member emailed questions concerning other members' requests for load bearing walls being denied by the committee; earthquake safety; and insurance rates.

A motion was made to approve the variance and passed by a 5/1/0 vote. (Advisor Plean opposed, via email.)

**11. Items Open for Discussion and Consideration**

a. Develop Policy for Incidental Work Related to an Approved Variance

Chair Cook introduced the item and answered questions from the committee. Staff was directed to draft a policy whereby incidental work relating to an approved variance be simultaneously approved and that no further approval by the committee or board be required for such incidental work.

**12. Items for Future Agendas**

- Under 32 SF and Under 100 SF Asbestos Abatement to Be Performed As a Chargeable Service
- Revised Resale Inspection Fee Schedule
- Review of the Stepping Stones Removal Policy

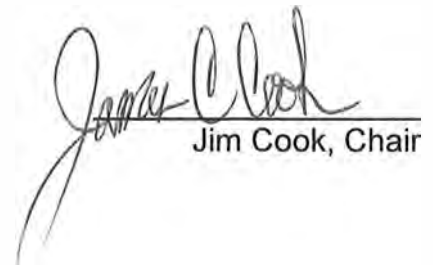
**13. Committee Member Comments**

- Chair Cook commented that all the standards will be revisited as time permits; that some alterations may be the reason a new member may buy a specific manor and that those alterations should not necessarily always be required to be removed; dryer ventilation duct cleaning and inspection schedule; breaker panel inspection schedule.
- Director Lewis commented that clarification is needed on policies related to potentially removable alterations as there is confusion between departments and that real estate agents are also confused about the policies.
- Advisor Butler commented that a buyer should be able to work with the seller to keep the alterations they wish to keep.

**14. Date of Next Meeting – Monday, October 24, 2022 at 9:30 a.m.**

**15. Adjournment**

The meeting was adjourned at 10:41 a.m.



Jim Cook, Chair

Jim Cook, Chair  
Robbi Doncost, Staff Officer  
Telephone: 949-597-4616

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# Third ACSC – October 24, 2022

## Variance Requests

Agenda Item #9	Manor Address	Description of Request	Summary of Request and Staff Recommendation (*)
A	5458	Slab Extension from Driveway	<ul style="list-style-type: none"> <li>• Manor is on a corner lot</li> <li>• Landscaping and irrigation will be removed as a chargeable service to accommodate the 6'X8' golf cart parking space</li> <li>• Parking space will be on pavers and adjacent to the driveway</li> <li>• Proposed area is common area</li> <li>• Proposed parking space can only be accessed through the driveway</li> <li>• Old business: originally presented in the September ACSC, a question was raised; what is the distance of landscape between manor 5458 and 5457? The distance is 15' between manors 5458 and 5457.</li> </ul> <p><b>Staff Recommendation: Approve</b></p>
B	3207-D	Remove Patio Enclosure and Replace with a Room Addition, Full Bathroom, and Closet	<ul style="list-style-type: none"> <li>• 3207-D is adjacent to El Toro Rd</li> <li>• Proposed family room addition will expand into garage</li> <li>• Family room addition will include a full bathroom and closet</li> <li>• A new swing door will be installed to enter from the garage to the family room</li> </ul> <p><b>Staff Recommendation: Approve</b></p>
C	3507-A	Extend Bedroom 1, Bedroom 2, and Living Room on Approved Rear Patio Slab Extension, Install Patio Gate or Rear Patio into Common Area, Install Wall in the Garage to Create a Laundry Room	<ul style="list-style-type: none"> <li>• 3507-A is a corner lot</li> <li>• A Mutual Consent was approved in 1977 for a patio slab extension with a patio block wall and wrought iron gate</li> <li>• Bedroom 1, living room, and bedroom 2 will extend into rear patio on exclusive common area</li> <li>• Divider wall will be installed in the garage to create a laundry room</li> <li>• Second patio gate will be installed into common area</li> </ul> <p><b>Staff Recommendation: Approve (except the gate)</b></p>
D	3212-D	Install Family Room and Laundry Room Between Master Bedroom and Garage	<ul style="list-style-type: none"> <li>• 3212-D is an end unit that is adjacent to a hillside</li> <li>• Family room addition will measure 15'8"X9'8" and the laundry room will measure 6'10"X9'8"; in total, both rooms will measure 22'8"X9'8"</li> <li>• Door opens from the proposed laundry room to the front walkway</li> <li>• Two skylights will be installed in the proposed family room</li> </ul> <p><b>Staff Recommendation: Approve</b></p>

(\*) The following attachments are included for your review and reference.

1. Variance Request Form
2. Photos
3. Location Map
4. Plan(s)
5. Draft Conditions of Approval
6. Draft Resolution



# Manor 5458



RECEIVED  
SEP 12 2022  
BY: JH

ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 5458  
 ULWM  TLHM  
SA 21719350

Variance Request Form

Model: <u>TRINIDAD</u>	Plan: <u>C11C_2</u>	Date: <u>6-16-2022</u>
Member Name: <u>[REDACTED]</u>	Signature: <u>[REDACTED]</u>	
Phone: <u>[REDACTED]</u>	Email: <u>[REDACTED]</u>	
Contractor Name/Co: <u>NONE</u>	Phone: <u>—</u>	E-mail: <u>—</u>
Owner Mailing Address: (to be used for official correspondence)		

Description of Proposed Variance Request ONLY:

REMOVE EXISTING BIRD OF PARADISE PLANT.  
LEVEL GROUND. PARK GOLF CART AREA

ADD BRICK PAVERS FOR PARKING  
SURFACE IN GOLF CART AREA.

NOTE MADE BY MANOR ALTERATIONS

SCANNED

PAID

Dimensions of Proposed Variance Alterations ONLY:

APROX. 6' X 8'

FOR OFFICE USE ONLY

RECEIVED BY: CM DATE RECEIVED: 9/13/22 Check# CC 97813D BY: [Signature]

<p><b>Alteration Variance Request</b></p> <p>Check Items Received:</p> <p><input type="checkbox"/> Drawing of Existing Floor Plan</p> <p><input type="checkbox"/> Drawing of Proposed Variance</p> <p><input type="checkbox"/> Dimensions of Proposed Variance</p> <p><input type="checkbox"/> Before and After Pictures</p> <p><input type="checkbox"/> Other: _____</p>	<p><b>Complete Submittal Cut Off Date:</b></p> <p>Meetings Scheduled:</p> <p>Third AC&amp;S Committee (TACSC): _____</p> <p>United M&amp;C Committee: _____</p> <p>Board Meeting: _____</p> <p><input type="checkbox"/> Denied <input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Tabled <input type="checkbox"/> Other _____</p>
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v.3.1B



ATTACHMENT 2  
PHOTOS

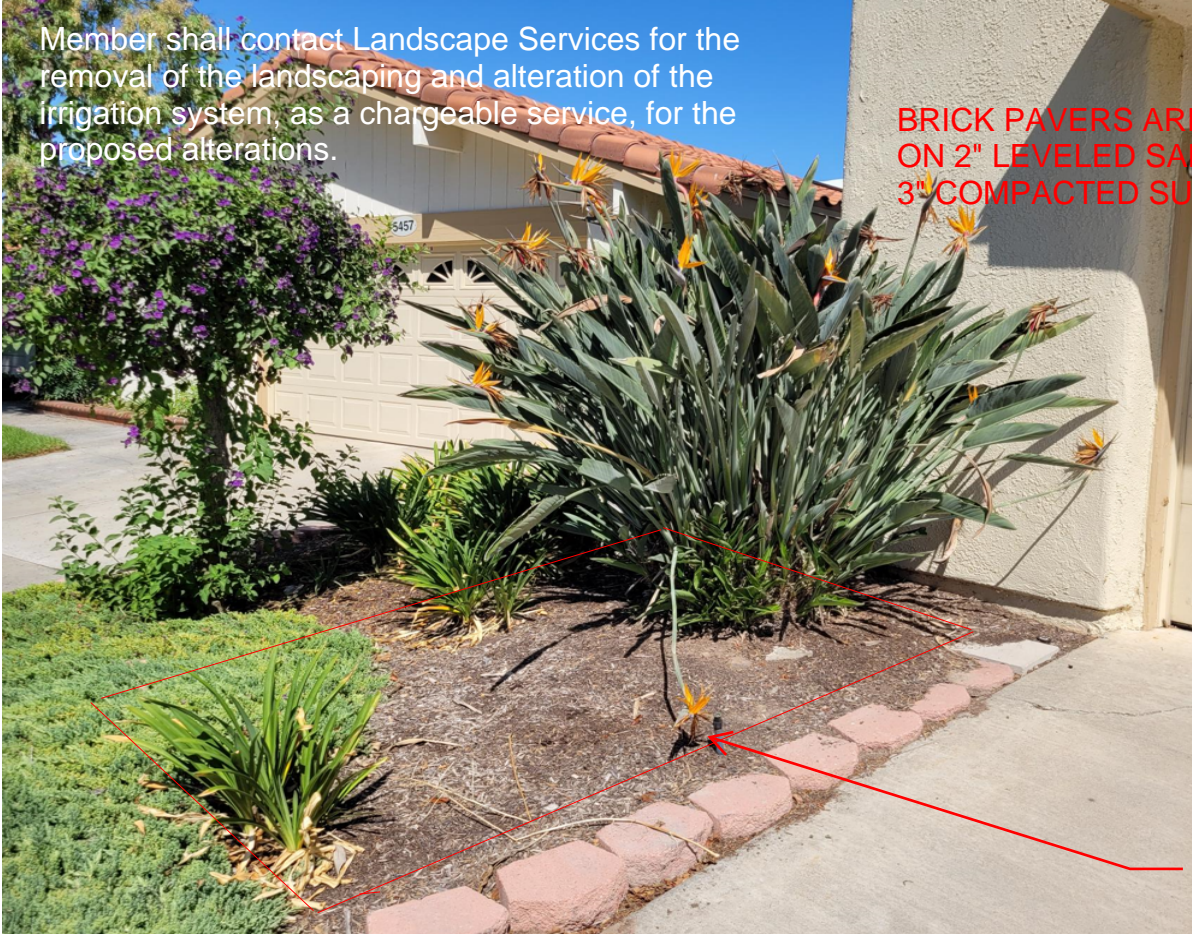




ATTACHMENT 2  
PHOTOS



View from Driveway Facing  
South  
PIC #3



Member shall contact Landscape Services for the removal of the landscaping and alteration of the irrigation system, as a chargeable service, for the proposed alterations.

**BRICK PAVERS ARE TO BE INSTALLED ON 2" LEVELED SAND BASE, AND 3" COMPACTED SUB-GRADE.**

**Proposed golf cart parking area in common area 6'x8'**

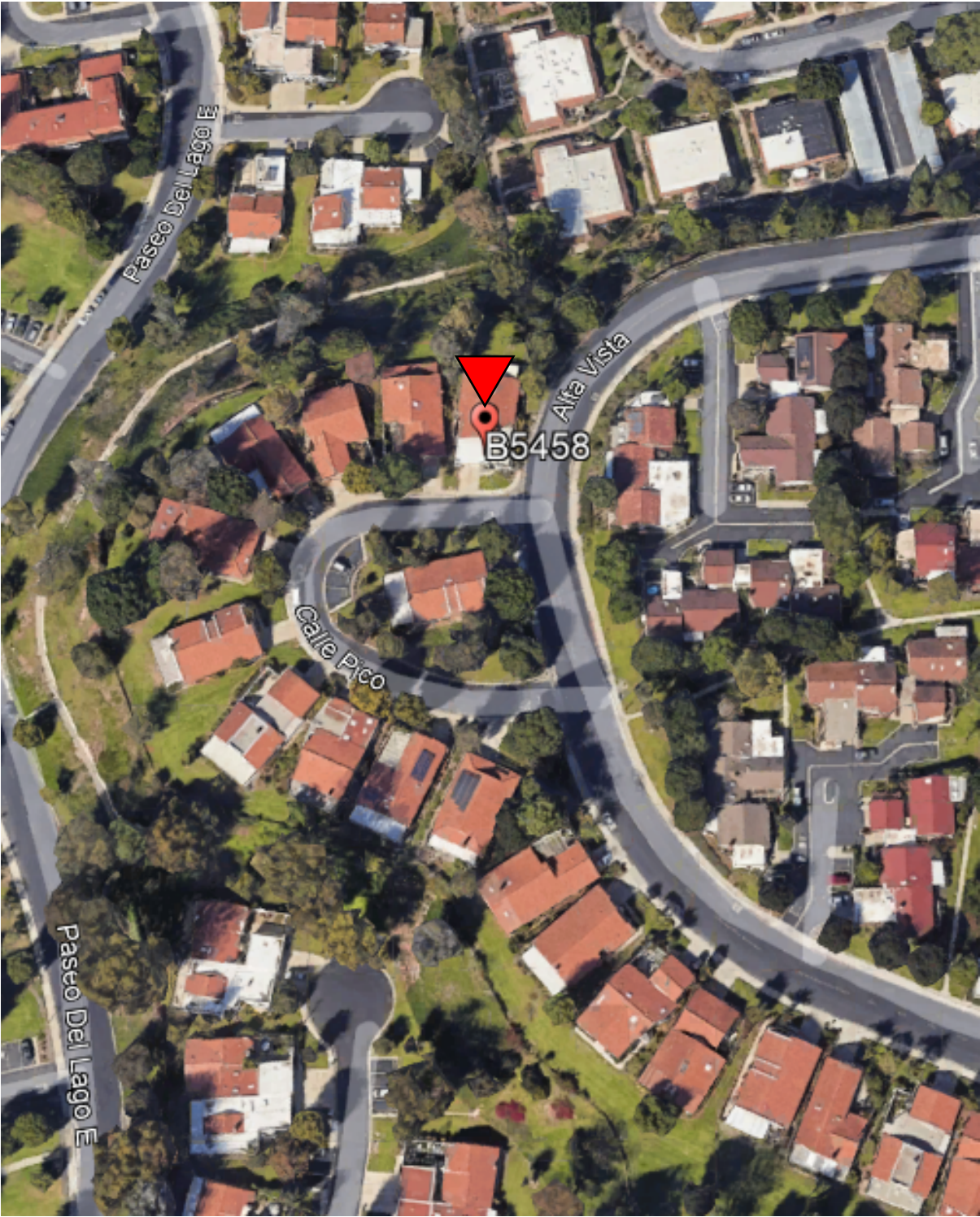


ATTACHMENT 3  
AERIAL

5458  
CALLE  
PICO

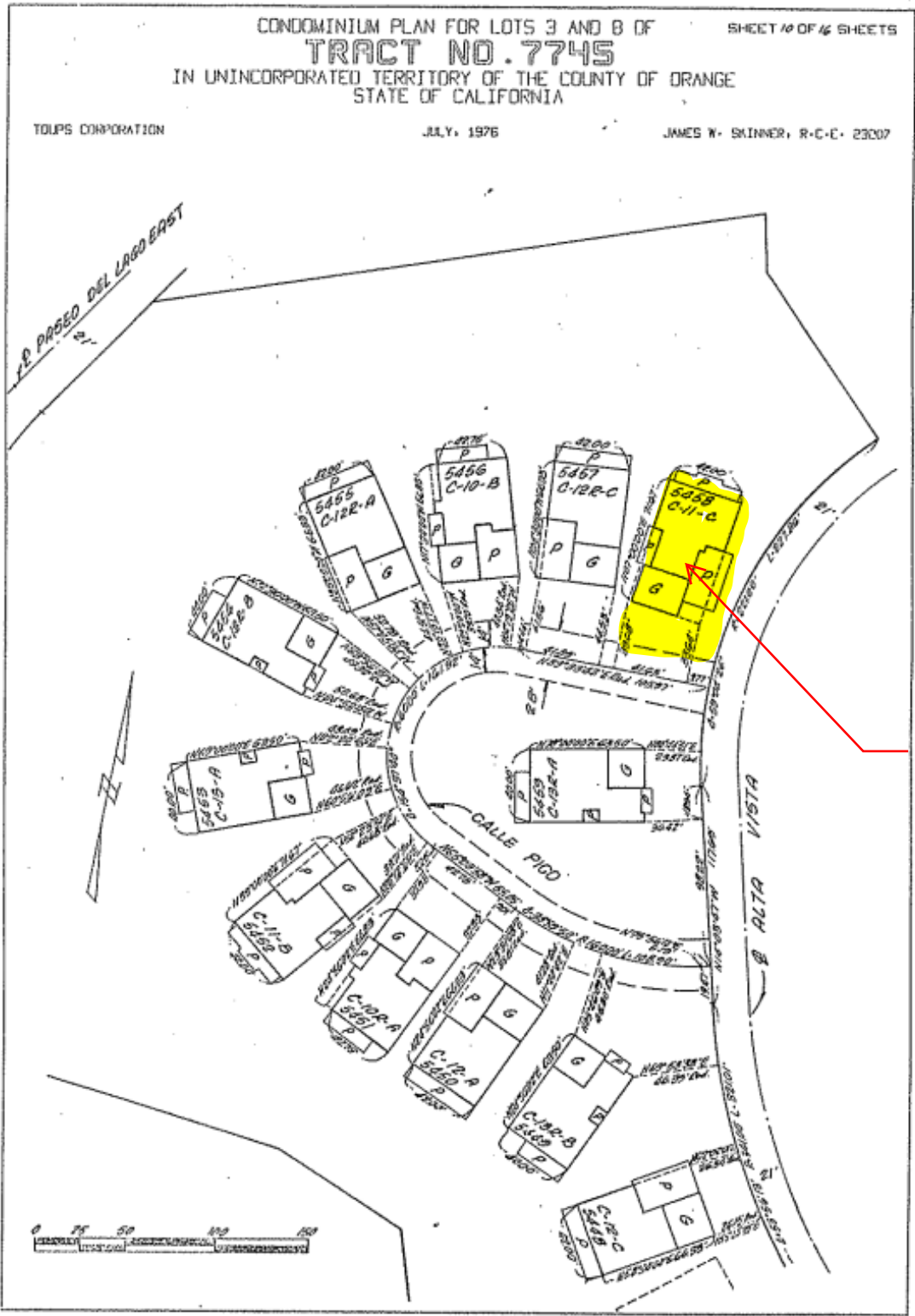


SYMBOL DENOTES LOCATION OF MANOR



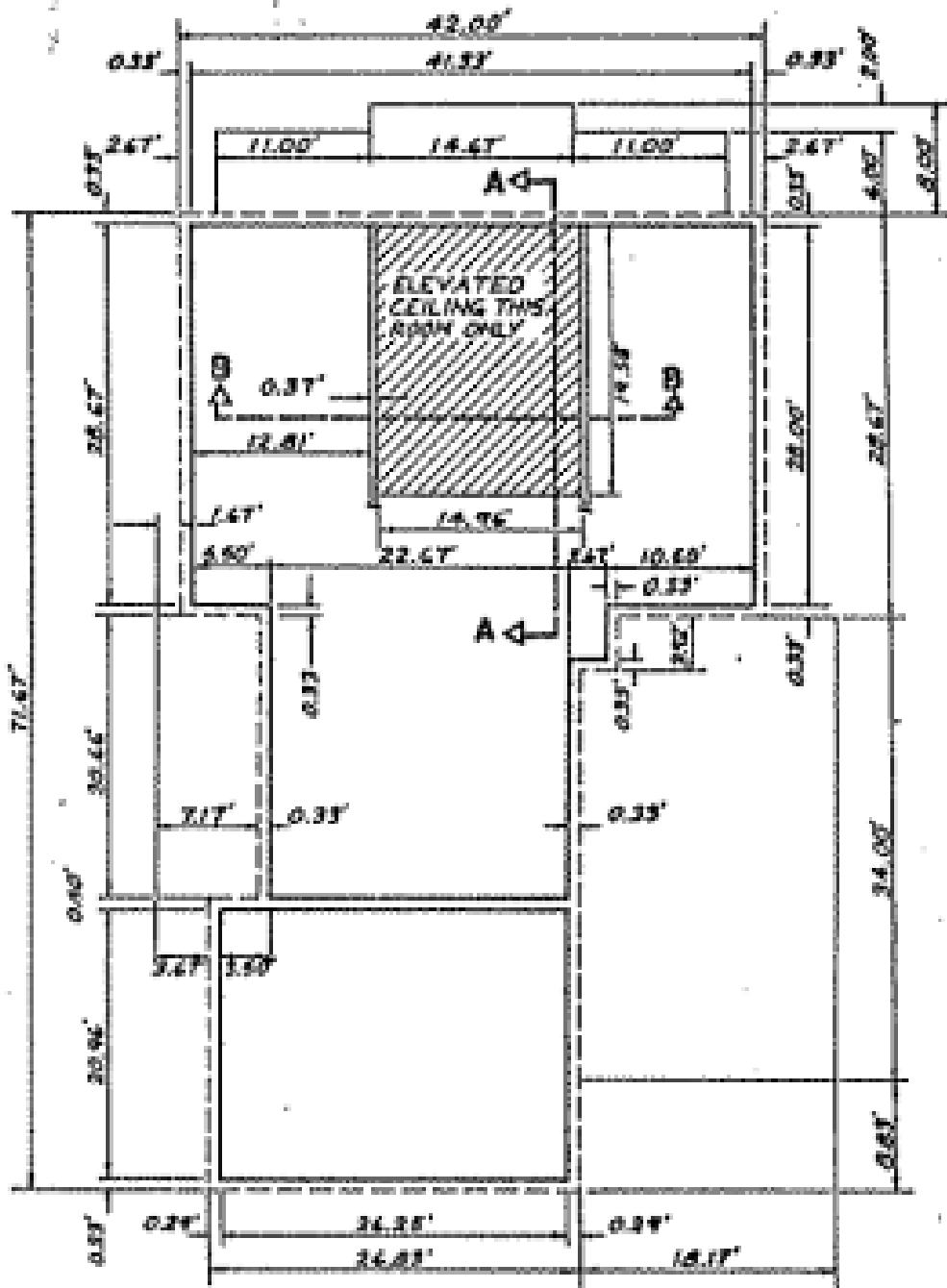


ATTACHMENT 3  
LOCATION MAP



5458

ATTACHMENT 3  
TRACT MAP



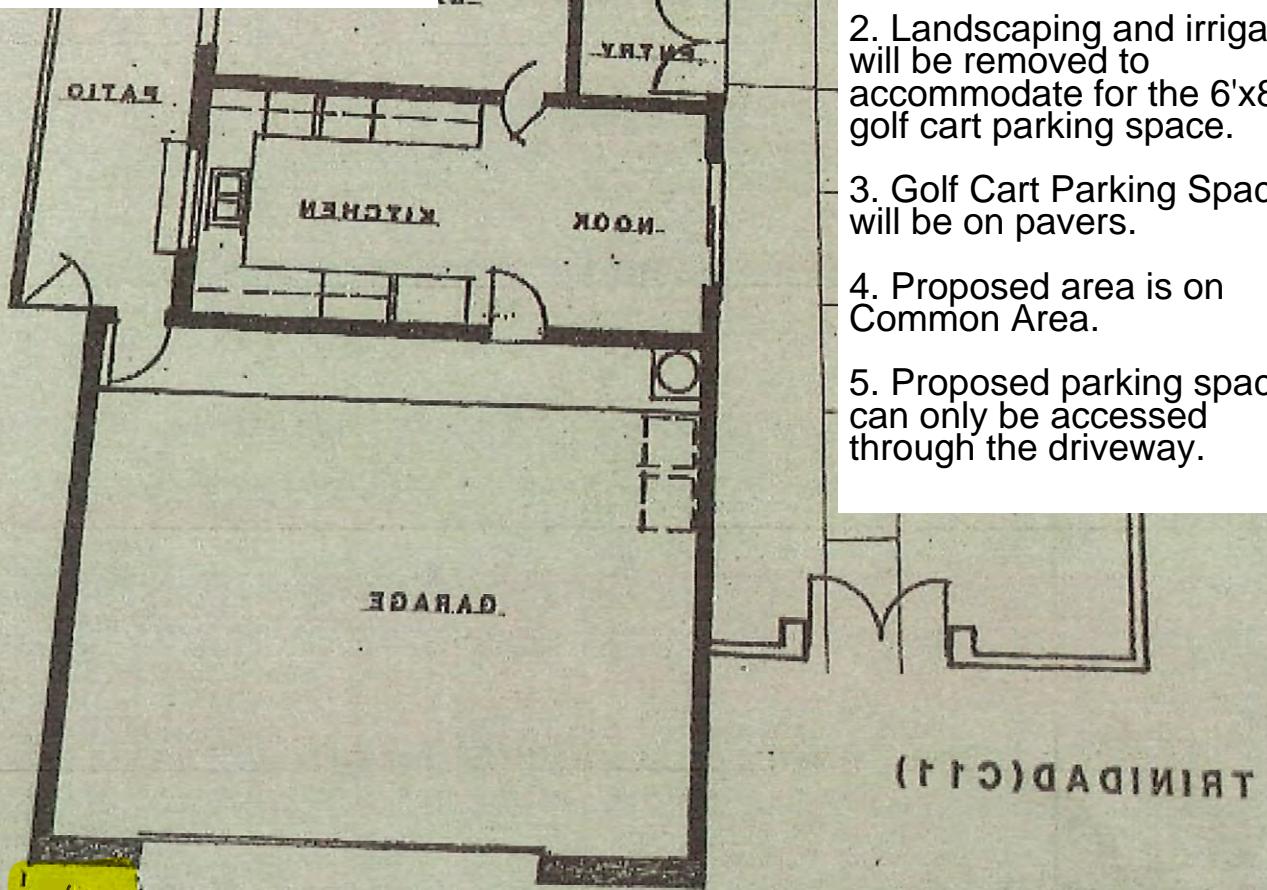
PLAN C-II

ATTACHMENT 4  
SCOPE PLAN(S)  
PROPOSED

MANOR: 5458  
CLYDE CICOTTE - 6'X8' GOLF  
CART PARKING SPACE IN  
COMMON AREA ON PAVERS

**GENERAL NOTES:**

1. 5458 sits on the corner of Alta Vista and Calle Pico
2. Landscaping and irrigation will be removed to accommodate for the 6'x8' golf cart parking space.
3. Golf Cart Parking Space will be on pavers.
4. Proposed area is on Common Area.
5. Proposed parking space can only be accessed through the driveway.

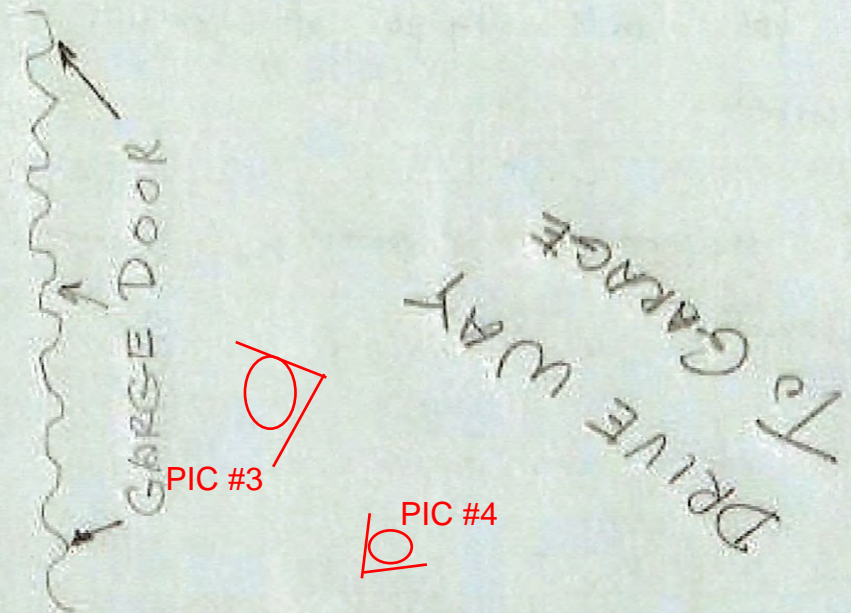




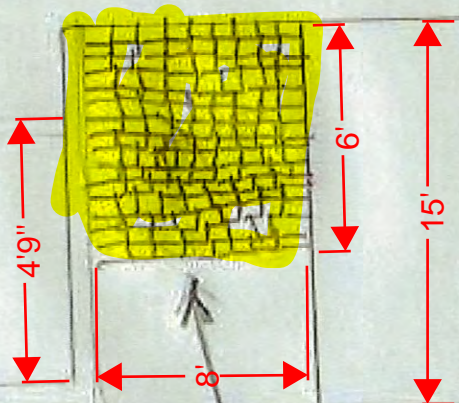
ATTACHMENT 4  
SCOPE PLAN(S)  
PROPOSED FLOOR PLAN

HOUSE

GARAGE AREA



Street



PROPOSED  
GOLF CART  
PAD

Approx 6' x 8'  
with PAVERS  
BASE

PIC #1

**CONDITIONS OF APPROVAL**

**Manor:** 5458

**Variance Description:** 6'X8' Golf Cart Parking in Common Area on Pavers

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. Brick pavers are to be installed on 2" leveled sand base and 3" compacted sub-grade.
- A.4. Member shall contact Landscape Services for the removal of the landscaping and alteration of the irrigation system, as a chargeable service, for the proposed alterations.

B. Materials and Methods:

- B.1. Pavers installation must be set in compacted subgrade.
- B.2. Prior to the issuance of a Mutual Consent for Alterations, a sample of the brick pavers to be installed shall be provided to Manor Alterations for review and approval.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request the Landscape Department to remove all landscape, irrigation, and drainage modifications associated with the improvements identified and completed by the Landscape Department at the expense of the Member.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Not Applicable

**General Conditions:**

- G.1. No improvement shall be installed, constructed, modified or altered at 5458, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.2. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.3. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5458 and all future Mutual Members at 5458.



- G.4. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.5. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.6. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.7. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.8. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.9. The expiration date of the Variance is 180 days from the Notice of Approval of the Variance issued by Manor Alterations.
- G.10. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.

- G.11. All construction, including demolition, must be completed within 180 days or 6 months from the Notice of Approval of the Variance issued by Manor Alterations via Mutual Consent.
- G.12. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.13. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.14. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.15. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.16. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.17. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.18. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for

Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.

- G.19. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.21. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.22. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.23. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-22-XX**

**Variance Request**

**WHEREAS**, Mr. Clyde Cicotte of 5458 Calle Pico, a Trinidad style manor, requests Architectural Controls and Standards Committee approval of a variance for a 6'x8' golf cart parking space in common area on brick pavers adjacent to the garage entrance; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on September 26, 2022; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for 6'x8' golf cart parking space in common area on pavers;

**NOW THEREFORE BE IT RESOLVED**, on October 24, 2022, the Architectural Controls and Standards Committee hereby approves the request for the 6'x8' golf cart parking space in common area on pavers; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 5458 Calle Pico and all future Mutual Members at 5458 Calle Pico; and

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

# Manor 3207-D

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RECEIVED



ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 3207-D

ULWM  TLHM

Variance Request Form

SA 21721897

Model: La Princesa	Plan: PL-104-A	Date: 04/07/2022
Member Name: Theodore R Pantoja	Signature: [Redacted]	
Phone: [Redacted]	E-mail: [Redacted]	
Contractor Name/Co: Ron Harbin / Mykaton Construction Co	Phone: (714) 308-3669	E-mail: mykayton@yahoo.com
Owner Mailing Address: (to be used for official correspondence) 3207 Via Buena Vista, Unit D Laguna Woods, CA 92637		

PAID

Description of Proposed Variance Request ONLY:

R&R the existing front patio and enclosure and replace it with a room with full bathroom and coat closet. This would include encroaching into the garage space 3' to make room for the full bath and coat closet. Also, we would be moving the kitchen / garage access from the kitchen to around the corner through the new room. Also we would be removing the wall and slider currently separating the dining room from the front patio

SCANNED

Dimensions of Proposed Variance Alterations ONLY:

16'6" X 15'

FOR OFFICE USE ONLY

(133973) Theodore R. Pantoja

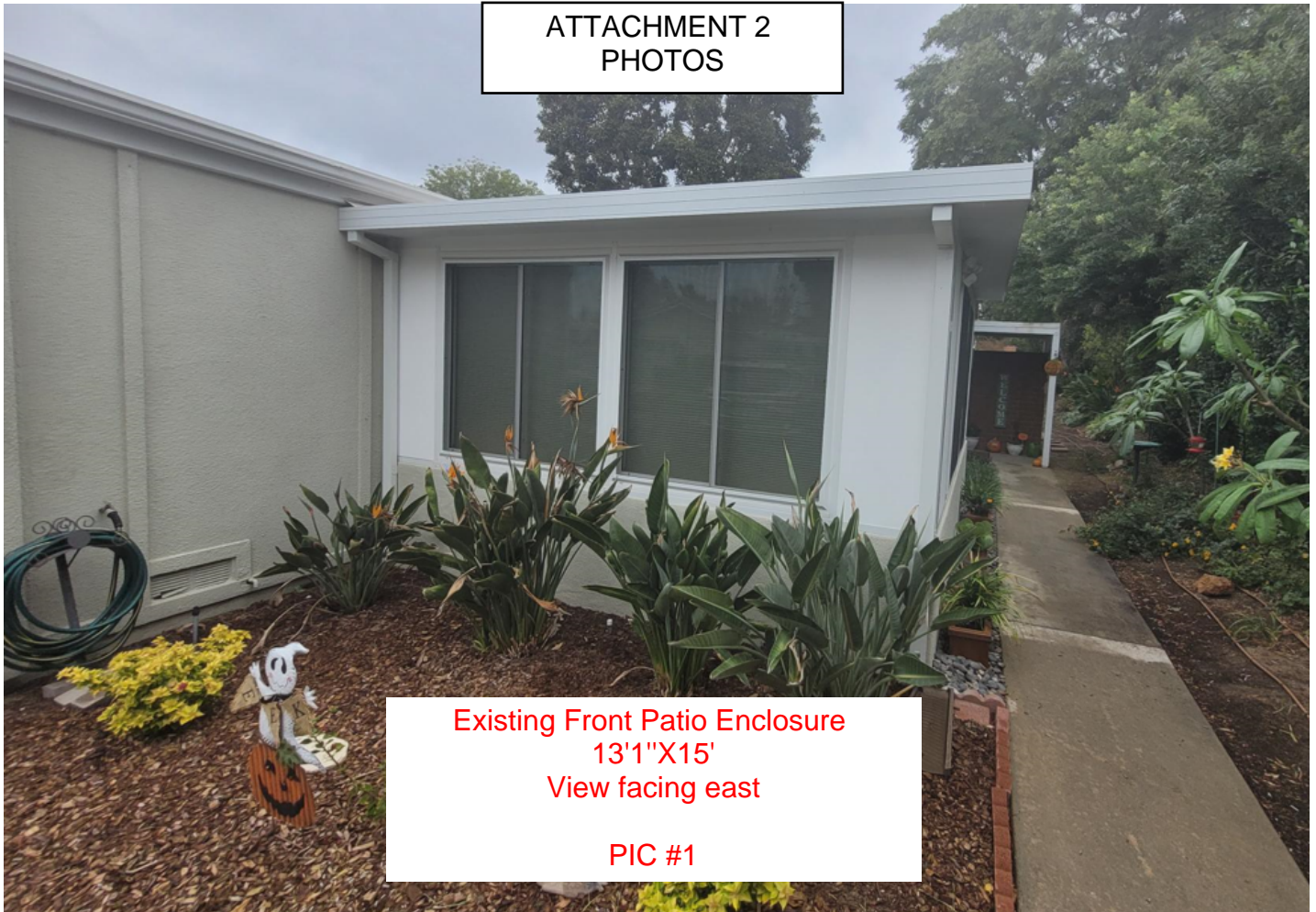
RECEIVED BY: CCM DATE RECEIVED: 9/23/22 Check# CC BY: APM

<b>Alteration Variance Request</b>	<b>Complete Submittal Cut Off Date:</b>
<b>Check Items Received:</b> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	<b>Meetings Scheduled:</b> Third AC&S Committee (TACSC): _____ United M&C Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____

v.1.18



ATTACHMENT 2  
PHOTOS



Existing Front Patio Enclosure  
13'1"X15'  
View facing east

PIC #1



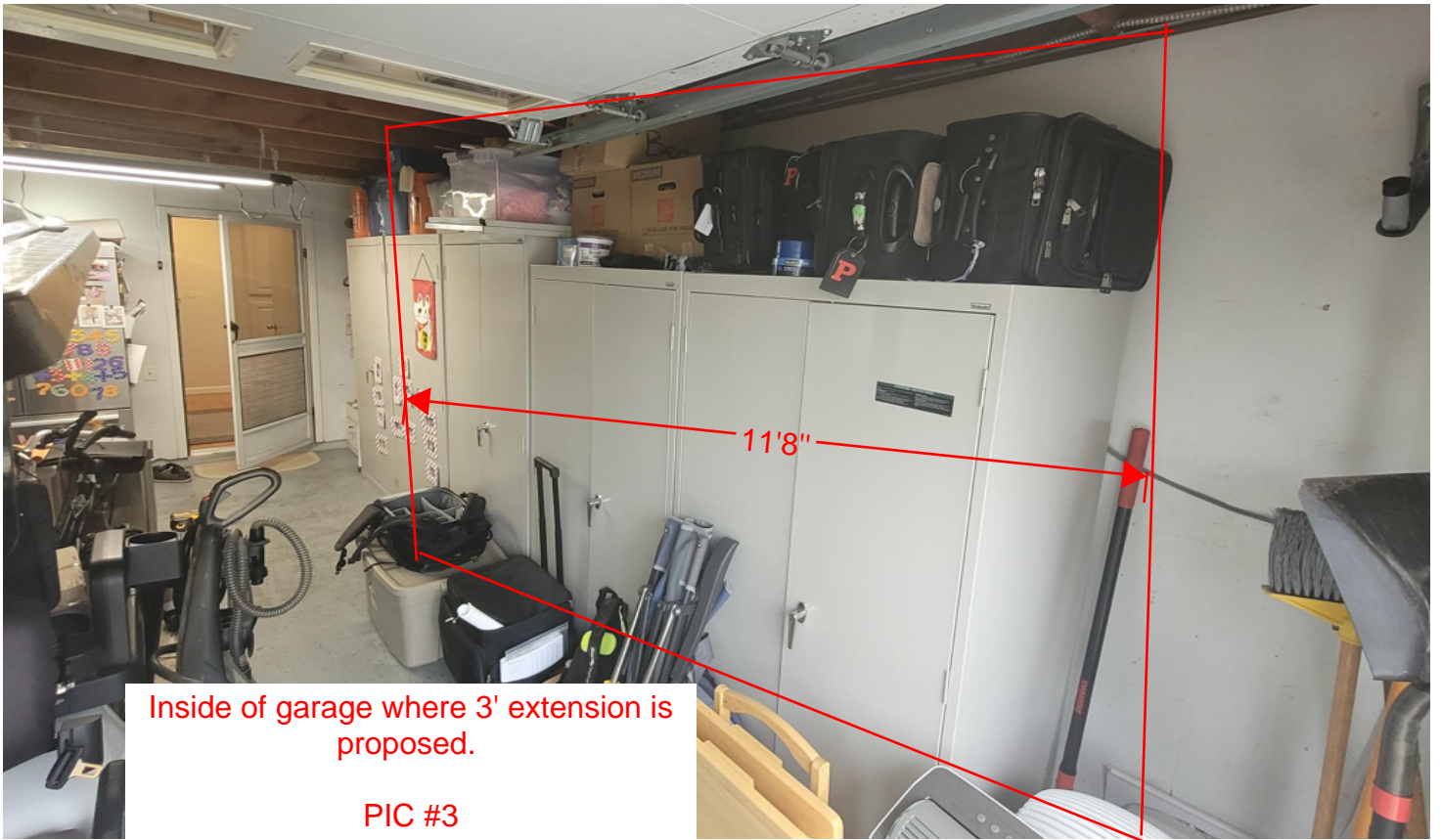
View facing West

PIC #2





View facing West from side of manor  
PIC #3



Inside of garage where 3' extension is proposed.  
PIC #3

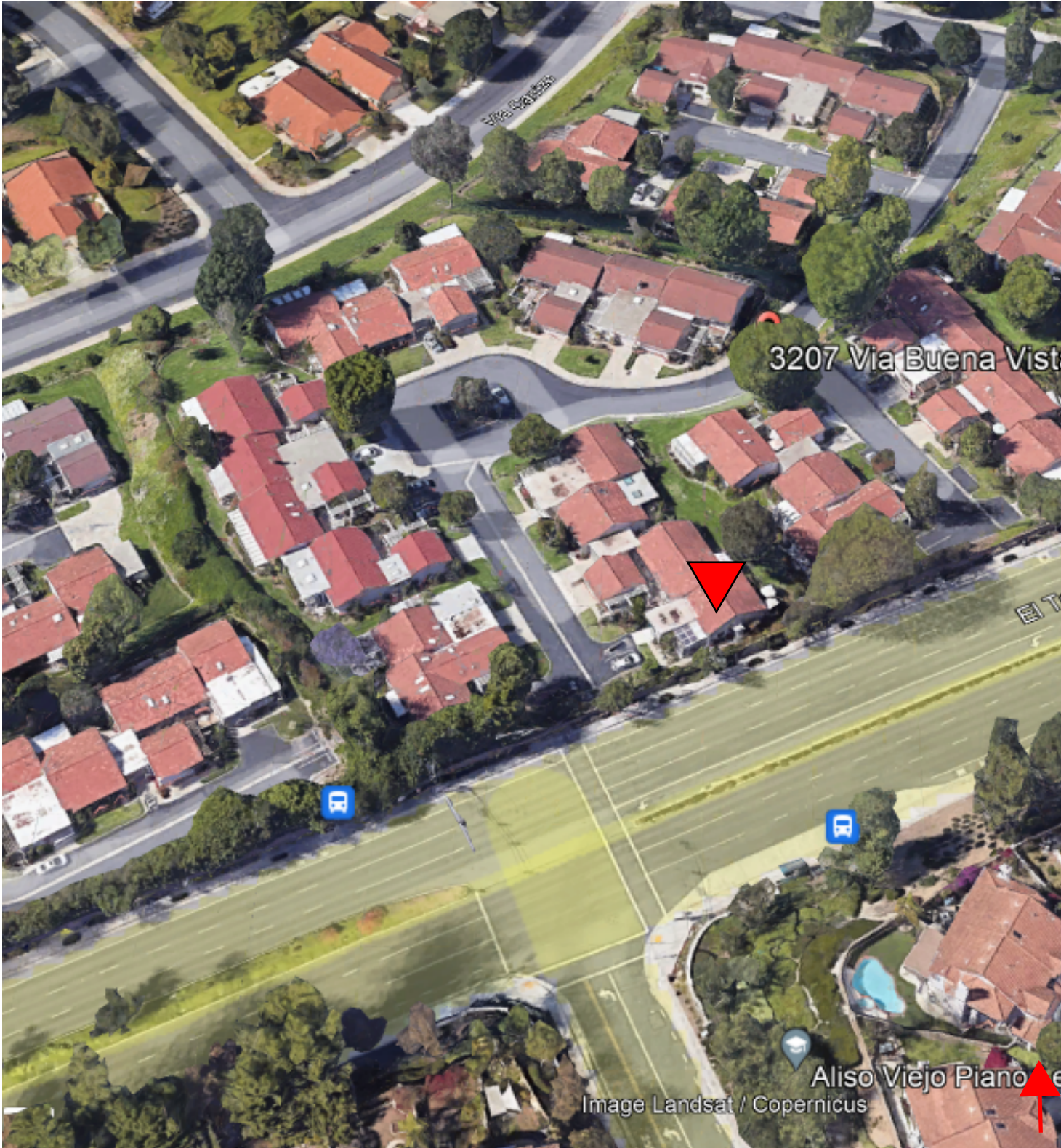


ATTACHMENT 3  
AERIAL

3207-D  
Via  
Buena  
Vista

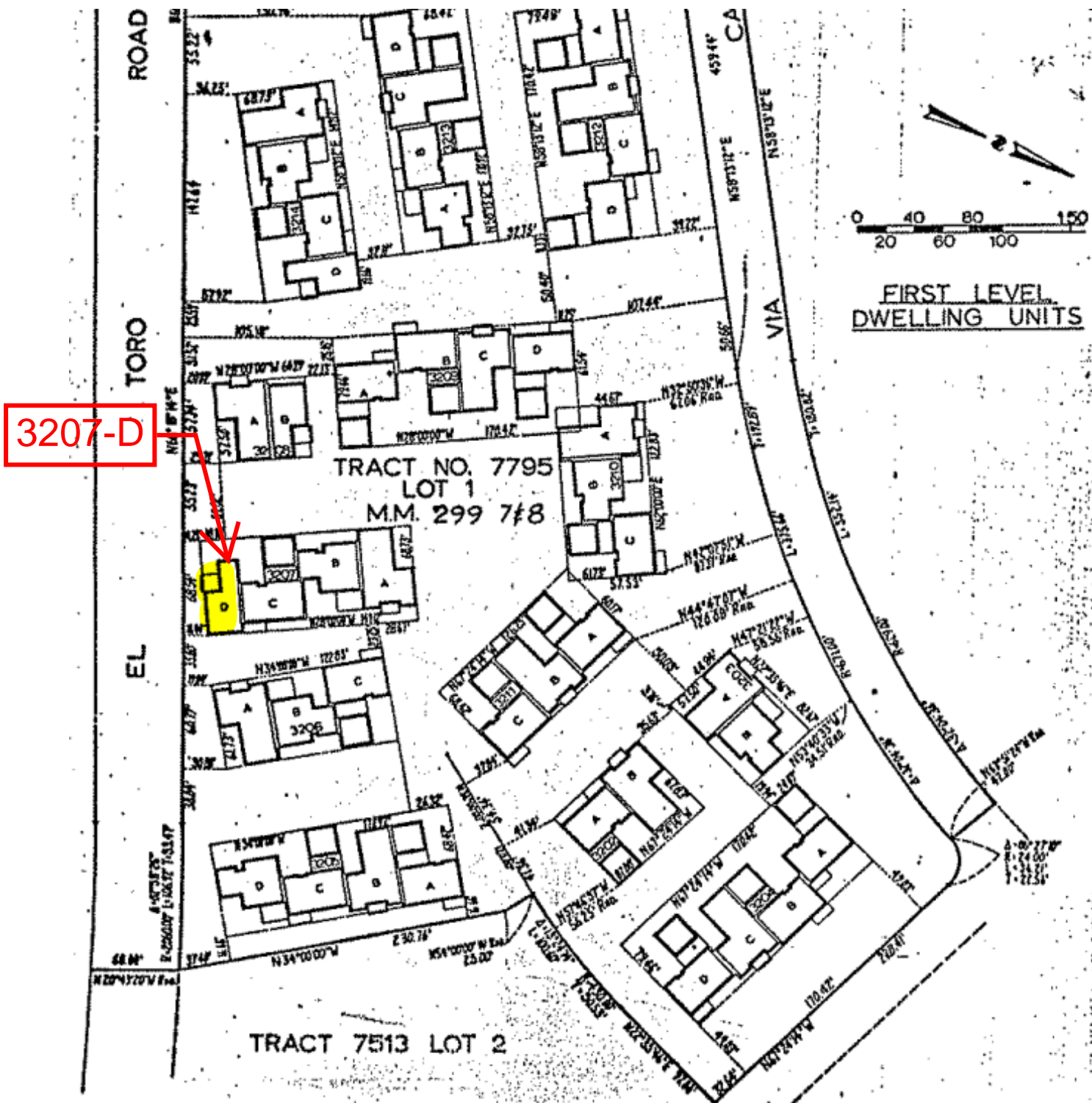


SYMBOL DENOTES LOCATION OF MANOR

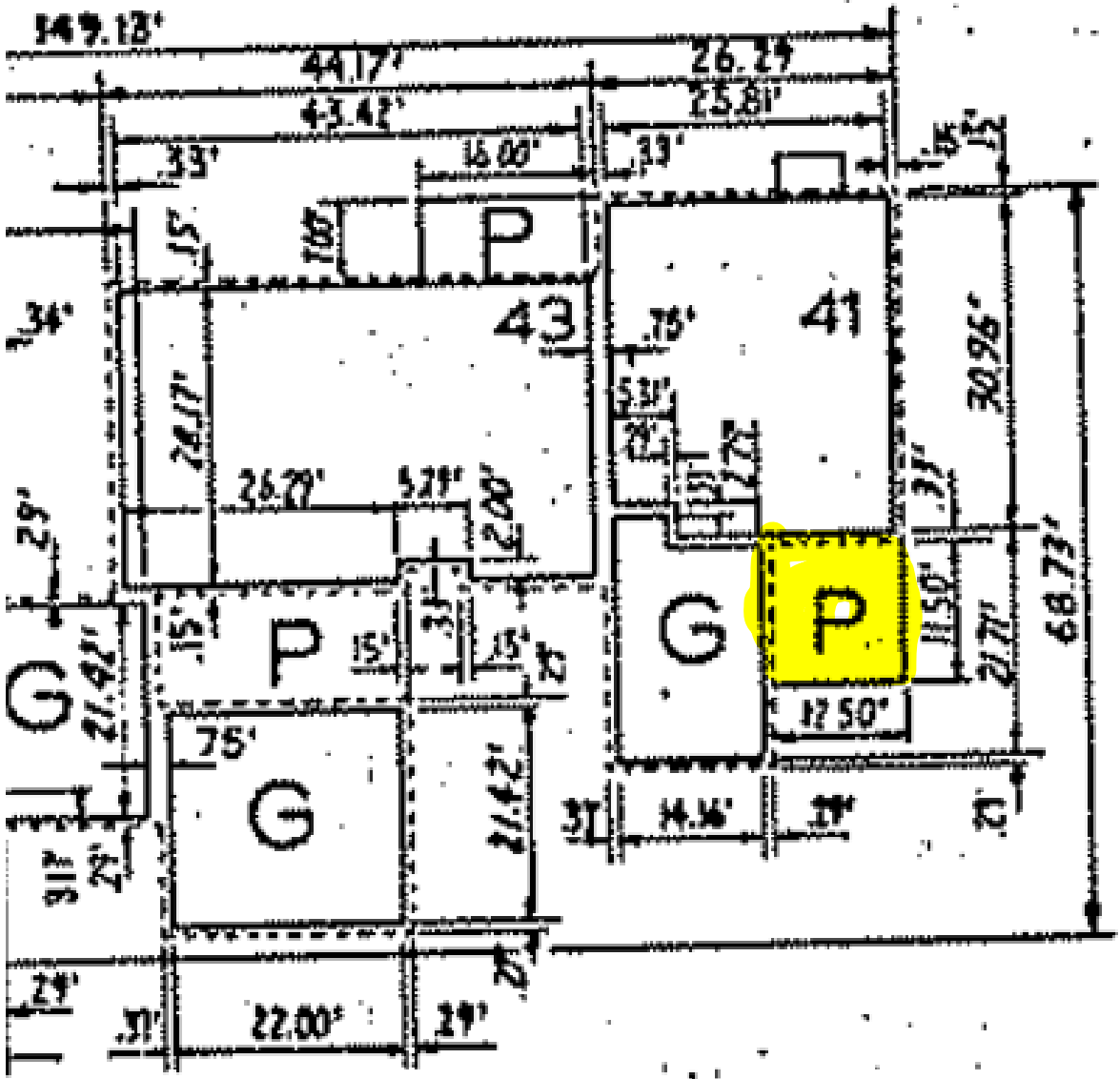




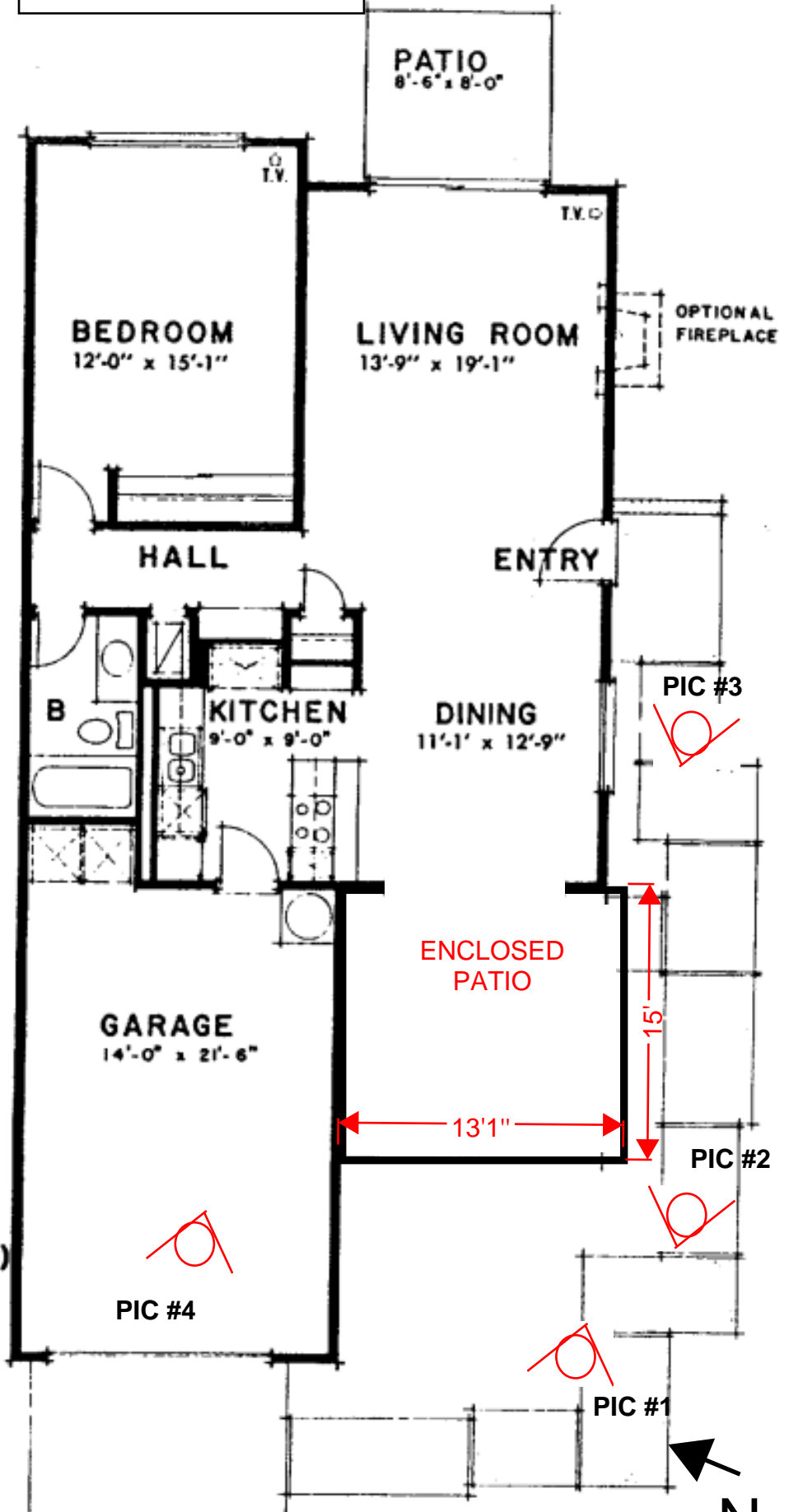
ATTACHMENT 3  
LOCATION MAP



ATTACHMENT 3  
TRACT MAP



ATTACHMENT 4  
SCOPE PLAN(S)  
EXISTING



**GENERAL NOTES:**

1. Original patio enclosure approved 2/16/1996 with a Mutual Consent.  
Replacement enclosure installed 5/14/2020 with a Mutual Consent.
2. Proposed family room addition will expand into garage
3. Family room addition will include a full bathroom and closet
4. A new swing door will be installed to enter from the garage to the family room

**LA PRINCESA (41 PLAN)**

SCALE

# ATTACHMENT 4 PROPOSED FLOOR PLAN

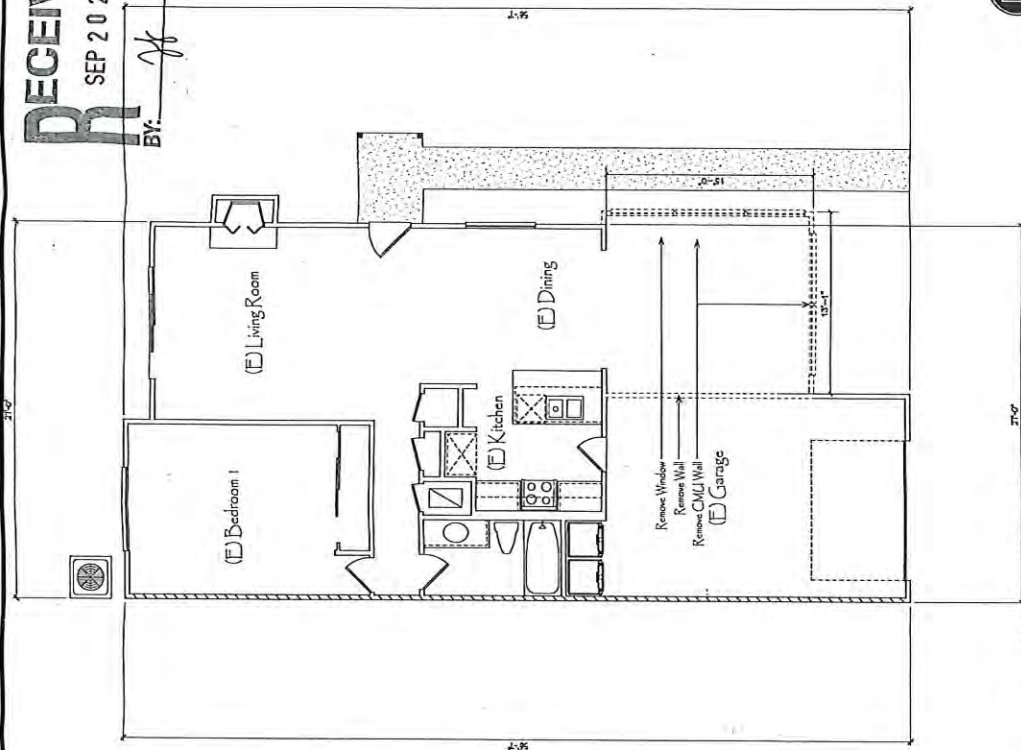
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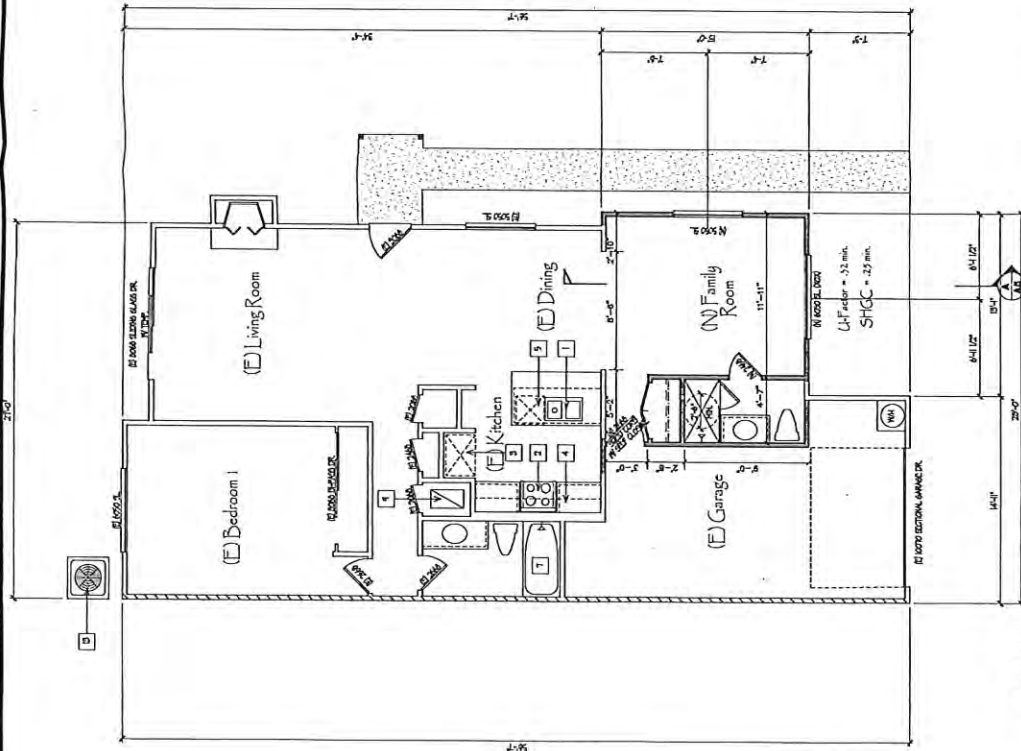
SEP 20 2022

BY: *[Signature]*

PLOT DATE: 8/28/2022



**EXISTING/DEMO FLOOR PLAN**  
SCALE: 1/4"=1'-0"



**PROPOSE FLOOR PLAN**  
SCALE: 1/4"=1'-0"

**FLOOR PLAN NOTES**

- 1. TO SEE THE FINISHING DETAILS TO REMAIN
- 2. TO SEE THE FINISHING DETAILS TO REMAIN
- 3. TO SEE THE FINISHING DETAILS TO REMAIN
- 4. TO SEE THE FINISHING DETAILS TO REMAIN
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- 17. TO SEE THE FINISHING DETAILS TO REMAIN
- 18. TO SEE THE FINISHING DETAILS TO REMAIN
- 19. TO SEE THE FINISHING DETAILS TO REMAIN
- 20. TO SEE THE FINISHING DETAILS TO REMAIN

ITEM	DESCRIPTION	REMARKS
1	EXISTING WALL	TO REMAIN
2	EXISTING WALL	TO DEMOLISH
3	EXISTING WALL	TO DEMOLISH
4	EXISTING WALL	TO DEMOLISH
5	EXISTING WALL	TO DEMOLISH
6	EXISTING WALL	TO DEMOLISH
7	EXISTING WALL	TO DEMOLISH
8	EXISTING WALL	TO DEMOLISH
9	EXISTING WALL	TO DEMOLISH
10	EXISTING WALL	TO DEMOLISH
11	EXISTING WALL	TO DEMOLISH
12	EXISTING WALL	TO DEMOLISH
13	EXISTING WALL	TO DEMOLISH
14	EXISTING WALL	TO DEMOLISH
15	EXISTING WALL	TO DEMOLISH
16	EXISTING WALL	TO DEMOLISH
17	EXISTING WALL	TO DEMOLISH
18	EXISTING WALL	TO DEMOLISH
19	EXISTING WALL	TO DEMOLISH
20	EXISTING WALL	TO DEMOLISH

ITEM	SYMBOL	DESCRIPTION	REMARKS
1	EXISTING WALL	TO REMAIN	
2	EXISTING WALL	TO DEMOLISH	
3	EXISTING WALL	TO DEMOLISH	
4	EXISTING WALL	TO DEMOLISH	
5	EXISTING WALL	TO DEMOLISH	
6	EXISTING WALL	TO DEMOLISH	
7	EXISTING WALL	TO DEMOLISH	
8	EXISTING WALL	TO DEMOLISH	
9	EXISTING WALL	TO DEMOLISH	
10	EXISTING WALL	TO DEMOLISH	
11	EXISTING WALL	TO DEMOLISH	
12	EXISTING WALL	TO DEMOLISH	
13	EXISTING WALL	TO DEMOLISH	
14	EXISTING WALL	TO DEMOLISH	
15	EXISTING WALL	TO DEMOLISH	
16	EXISTING WALL	TO DEMOLISH	
17	EXISTING WALL	TO DEMOLISH	
18	EXISTING WALL	TO DEMOLISH	
19	EXISTING WALL	TO DEMOLISH	
20	EXISTING WALL	TO DEMOLISH	

**SQUARE FOOTAGE**

(E) BASE FLOOR 838 sq ft

PROPOSE ADDITION 188 sq ft

TOTAL SQ. FT. 1018 sq ft

SEE ARCHITECT'S SPECIFICATIONS FOR FLOOR FINISHES





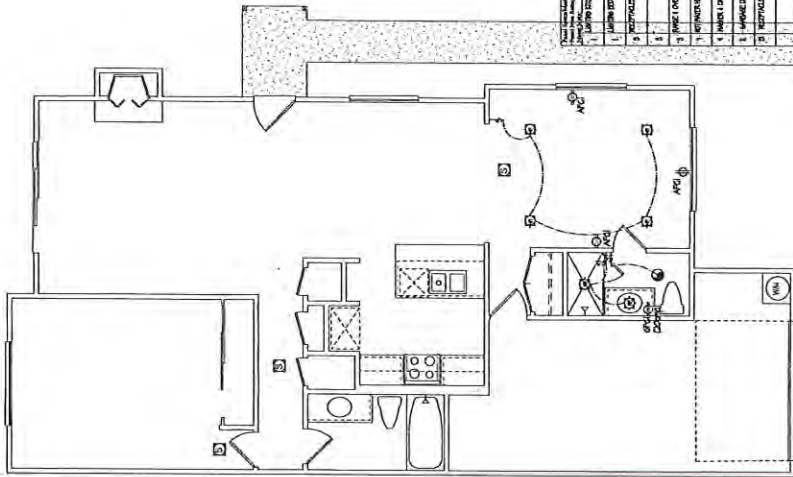


# ATTACHMENT 4 PROPOSED FLOOR PLAN

# A3

PLANT DATE: 8/28/2022

NOTE: PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL OUTLETS, NOT JUST RECEPTACLES, FOR THE ENTIRE DRELLING UNIT.



Room No.	Room Name	Area (sq ft)	Notes
1	RECEIVING AREA	1	RECEIVING AREA
2	RECEIVING AREA	2	RECEIVING AREA
3	RECEIVING AREA	3	RECEIVING AREA
4	RECEIVING AREA	4	RECEIVING AREA
5	RECEIVING AREA	5	RECEIVING AREA
6	RECEIVING AREA	6	RECEIVING AREA
7	RECEIVING AREA	7	RECEIVING AREA
8	RECEIVING AREA	8	RECEIVING AREA
9	RECEIVING AREA	9	RECEIVING AREA
10	RECEIVING AREA	10	RECEIVING AREA
11	RECEIVING AREA	11	RECEIVING AREA
12	RECEIVING AREA	12	RECEIVING AREA
13	RECEIVING AREA	13	RECEIVING AREA
14	RECEIVING AREA	14	RECEIVING AREA
15	RECEIVING AREA	15	RECEIVING AREA
16	RECEIVING AREA	16	RECEIVING AREA
17	RECEIVING AREA	17	RECEIVING AREA
18	RECEIVING AREA	18	RECEIVING AREA
19	RECEIVING AREA	19	RECEIVING AREA
20	RECEIVING AREA	20	RECEIVING AREA
21	RECEIVING AREA	21	RECEIVING AREA
22	RECEIVING AREA	22	RECEIVING AREA
23	RECEIVING AREA	23	RECEIVING AREA
24	RECEIVING AREA	24	RECEIVING AREA
25	RECEIVING AREA	25	RECEIVING AREA
26	RECEIVING AREA	26	RECEIVING AREA
27	RECEIVING AREA	27	RECEIVING AREA
28	RECEIVING AREA	28	RECEIVING AREA
29	RECEIVING AREA	29	RECEIVING AREA
30	RECEIVING AREA	30	RECEIVING AREA
31	RECEIVING AREA	31	RECEIVING AREA
32	RECEIVING AREA	32	RECEIVING AREA
33	RECEIVING AREA	33	RECEIVING AREA
34	RECEIVING AREA	34	RECEIVING AREA
35	RECEIVING AREA	35	RECEIVING AREA
36	RECEIVING AREA	36	RECEIVING AREA
37	RECEIVING AREA	37	RECEIVING AREA
38	RECEIVING AREA	38	RECEIVING AREA
39	RECEIVING AREA	39	RECEIVING AREA
40	RECEIVING AREA	40	RECEIVING AREA
41	RECEIVING AREA	41	RECEIVING AREA
42	RECEIVING AREA	42	RECEIVING AREA
43	RECEIVING AREA	43	RECEIVING AREA
44	RECEIVING AREA	44	RECEIVING AREA
45	RECEIVING AREA	45	RECEIVING AREA
46	RECEIVING AREA	46	RECEIVING AREA
47	RECEIVING AREA	47	RECEIVING AREA
48	RECEIVING AREA	48	RECEIVING AREA
49	RECEIVING AREA	49	RECEIVING AREA
50	RECEIVING AREA	50	RECEIVING AREA

PROJECT NO. 2022-001  
DATE: 8/28/2022  
DRAWN BY: [Name]  
CHECKED BY: [Name]

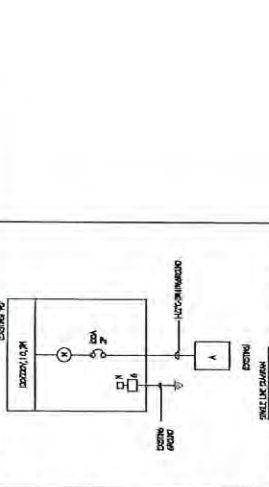
**REVISIONS**

No.	Description	Date
1	ISSUED FOR PERMIT	8/28/2022
2	REVISIONS	
3	REVISIONS	
4	REVISIONS	
5	REVISIONS	
6	REVISIONS	
7	REVISIONS	
8	REVISIONS	
9	REVISIONS	
10	REVISIONS	

UTILITY PLAN  
SCALE: 1/4"=1'-0"

### SYMBOL LIST

FLOOR	SYMBOL	DESCRIPTION
1	(Symbol)	RECEPTACLE
1	(Symbol)	SWITCH
1	(Symbol)	OUTLET
1	(Symbol)	CONDUIT
1	(Symbol)	TRAY
1	(Symbol)	PIPE
1	(Symbol)	WALL
1	(Symbol)	DOOR
1	(Symbol)	WINDOW
1	(Symbol)	CEILING
1	(Symbol)	FLOOR
1	(Symbol)	STAIR
1	(Symbol)	ELEVATOR
1	(Symbol)	MECHANICAL
1	(Symbol)	ELECTRICAL
1	(Symbol)	PLUMBING
1	(Symbol)	HEATING
1	(Symbol)	Cooling
1	(Symbol)	Fire
1	(Symbol)	Security
1	(Symbol)	Other



### ELECTRICAL LOAD CALC.

Category	Load (VA)	Notes
RECEPTACLES	4,500	
SWITCHES	1,000	
OUTLETS	1,000	
CONDUITS	1,000	
TRAYS	1,000	
PIPES	1,000	
WALLS	1,000	
WINDOWS	1,000	
CEILING	1,000	
FLOOR	1,000	
STAIRS	1,000	
ELEVATORS	1,000	
MECHANICAL	1,000	
ELECTRICAL	1,000	
PLUMBING	1,000	
HEATING	1,000	
Cooling	1,000	
Fire	1,000	
Security	1,000	
Other	1,000	

**SQUARE FOOTAGE**  
(E) BASE FLOOR: 830 sq ft  
PROPOSED ADDITION: 188 sq ft  
TOTAL SQ. FT.: 1018 sq ft

**GENERAL PLAN NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARMS CODE (NFPA).
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN.
- ALL ELECTRICAL PANELS SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC.
- ALL ELECTRICAL WIRING SHALL BE IN ACCORDANCE WITH THE NEC.
- ALL ELECTRICAL CONDUITS SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC.
- ALL ELECTRICAL TRAYS SHALL BE INSTALLED IN ACCORDANCE WITH THE NEC.
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### SYMBOL LIST

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**SQUARE FOOTAGE**  
(E) BASE FLOOR: 830 sq ft  
PROPOSED ADDITION: 188 sq ft  
TOTAL SQ. FT.: 1018 sq ft

**GENERAL PLAN NOTES**

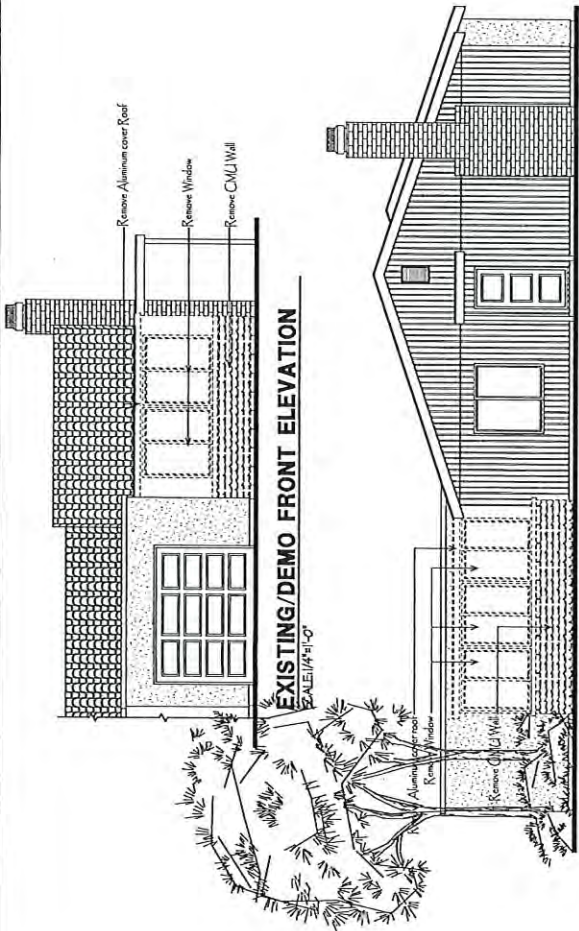
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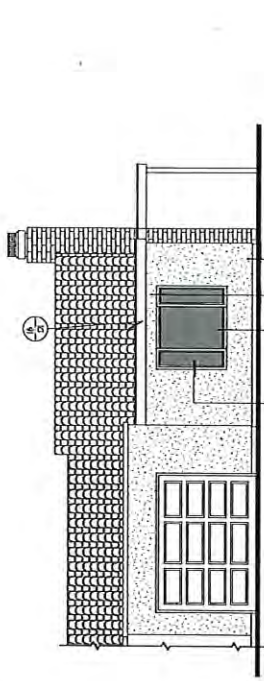
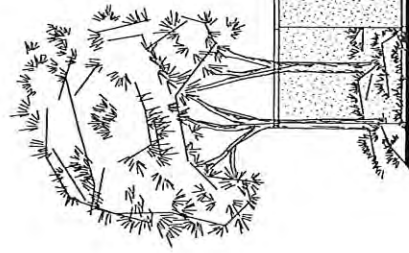
ATTACHMENT 4  
PROPOSED FLOOR  
PLAN

A5

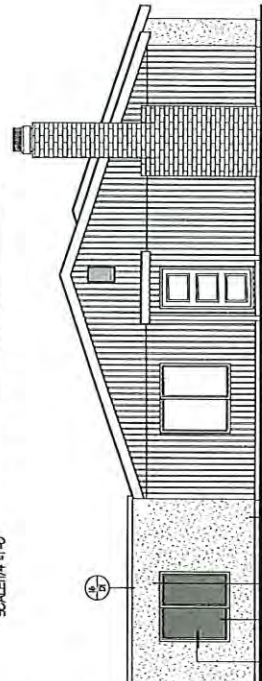
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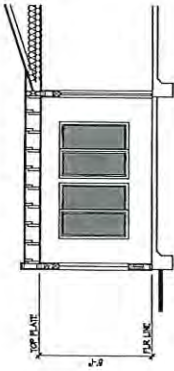
**EXISTING/DEMO RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSE FRONT ELEVATION**  
SCALE: 1/4"=1'-0"



**PROPOSE RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**SECTION A**  
SCALE: 1/4"=1'-0"

**CONDITIONS OF APPROVAL**

**Manor:** 3207-D

**Variance Description:** Remove Patio Enclosure and Replace with Room Addition, Bathroom, and Closet

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Any piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations through framing.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to the Issuance of a Mutual Consent for Alterations, the Member must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Alterations staff to review.
- C.3. Prior to the Issuance of a Mutual Consent for Alterations, if required, the Member shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.
- C.4. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must

depict the work as completed and approved by the City, including all structural and architectural modifications.

**General Conditions:**

G. General Conditions

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 3207-D, (“Property”) within the Third Laguna Hills Mutual (“Mutual”) without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. (“VMS, Inc.”), Alterations Division (“Division”), or, in the event of a Variance from the Mutual’s Alteration Standards, the Architectural Control and Standards Committee (“ACSC”). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members (“Member”) agrees to comply with the Mutual’s Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property’s Member at 3207-D and all future Mutual Members at 3207-D.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual’s Governing

Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.

- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. The expiration date of the Variance is 180 days from the Notice of Approval of the Variance issued by Manor Alterations.
- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- G.12. All construction, including demolition, must be completed within 180 days or 6 months from the Notice of Approval of the Variance issued by Manor Alterations via Mutual Consent.

- G.13. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.14. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.15. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.16. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.17. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.18. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.19. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. Dumpsters must be ordered from the approved City of Laguna Woods waste



hauler and must be maintained at all times.

- G.21. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.22. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.23. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.24. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-22-XX**

**Variance Request**

**WHEREAS**, Mr. Theodore R. Pantoja of 3207-D Via Buena Vista, a La Princesa style manor, requests Architectural Controls and Standards Committee approval of a variance for removing patio enclosure and replacing with room addition, bathroom, and closet; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on October 24, 2022; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for removing patio enclosure and replacing with room addition, bathroom, and closet;

**NOW THEREFORE BE IT RESOLVED**, on October 24, 2022, the Architectural Controls and Standards Committee hereby approves the request for removing patio enclosure and replacing with room addition, bathroom, and closet; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3207-D Via Buena Vista and all future Mutual Members at 3207-D Via Buena Vista; and

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.

# Manor 3507-A

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ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 3507-A

ULWM  TLHM

Variance Request Form

SA

Model: <b>Casa Rosa</b>	Plan: <b>P46</b>	Date: <u>7/21/22</u>
Member Name: <b>Chin Tang</b>	Signature <u>[Redacted]</u>	
Phone: <u>[Redacted]</u>	Email: <u>[Redacted]</u>	
Contractor Name/Co: <b>FHI Constructions Inc.</b>	Phone: <b>714-244-2171</b>	Email: <b>fhilaguna@gmail.com</b>

**Description of Proposed Variance Request ONLY:**

1- Extend out portion of 2 bedrooms & Livingroom into the back yard patio by demolishing and reframing the walls, roofing and ceiling in the area based on the City approved plan.

2- Add a new divider wall inside the garage to separate existing laundry room from the garage.

**Dimensions of Proposed Variance Alterations ONLY:**

Garage Laundry room: 7'-8" x 12'-9"

Extended out portion of Bedroom 1 into patio: 7'-0" x 7'-6"

Extended out portion of Bedroom 2 into patio: 7'-0" x 7'-6"

Extended out portion of Livingroom into patio: 9'-6" x 12'-0"

**FOR OFFICE USE ONLY**

RECEIVED BY: CCM DATE RECEIVED: 10/14/22 Check# CC0646 BY: Chin F. Tang

<b>Alteration Variance Request</b>	<b>Complete Submittal Cut Off Date:</b> <b>PAID</b>
<b>Check Items Received:</b> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____	<b>Meetings Scheduled:</b> Third AC&S Committee : _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____



ATTACHMENT 2  
PHOTOS





ATTACHMENT 2  
PHOTOS



View facing South towards the rear patio. Patio Slab Extension, Patio Block Wall, and Gate were approved in 1977  
PIC #3



View facing North towards Bahia Blanca West  
PIC #4



ATTACHMENT 3  
AERIAL

3507-A  
Bahia  
Blanca  
West

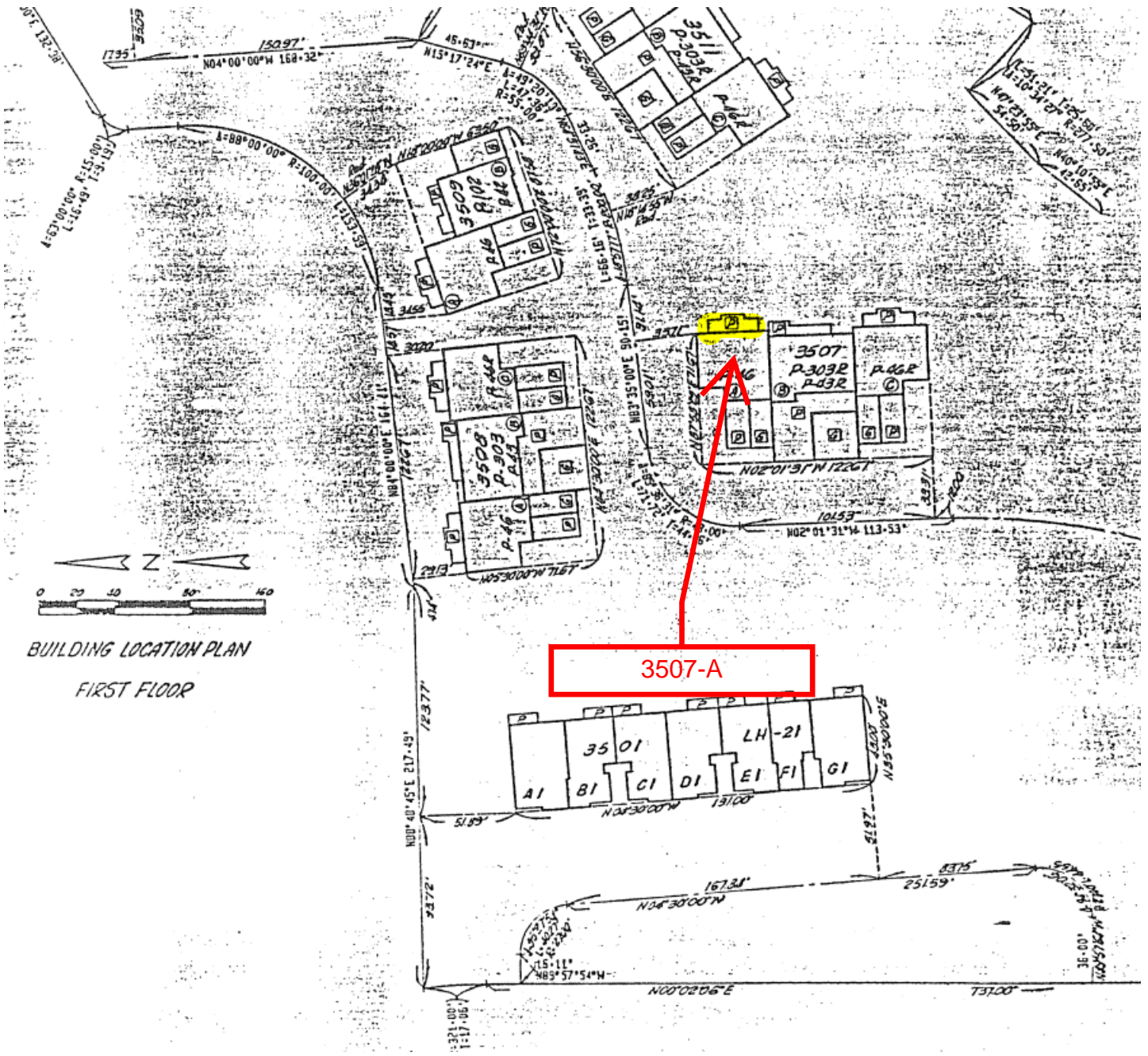


SYMBOL DENOTES LOCATION OF MANOR

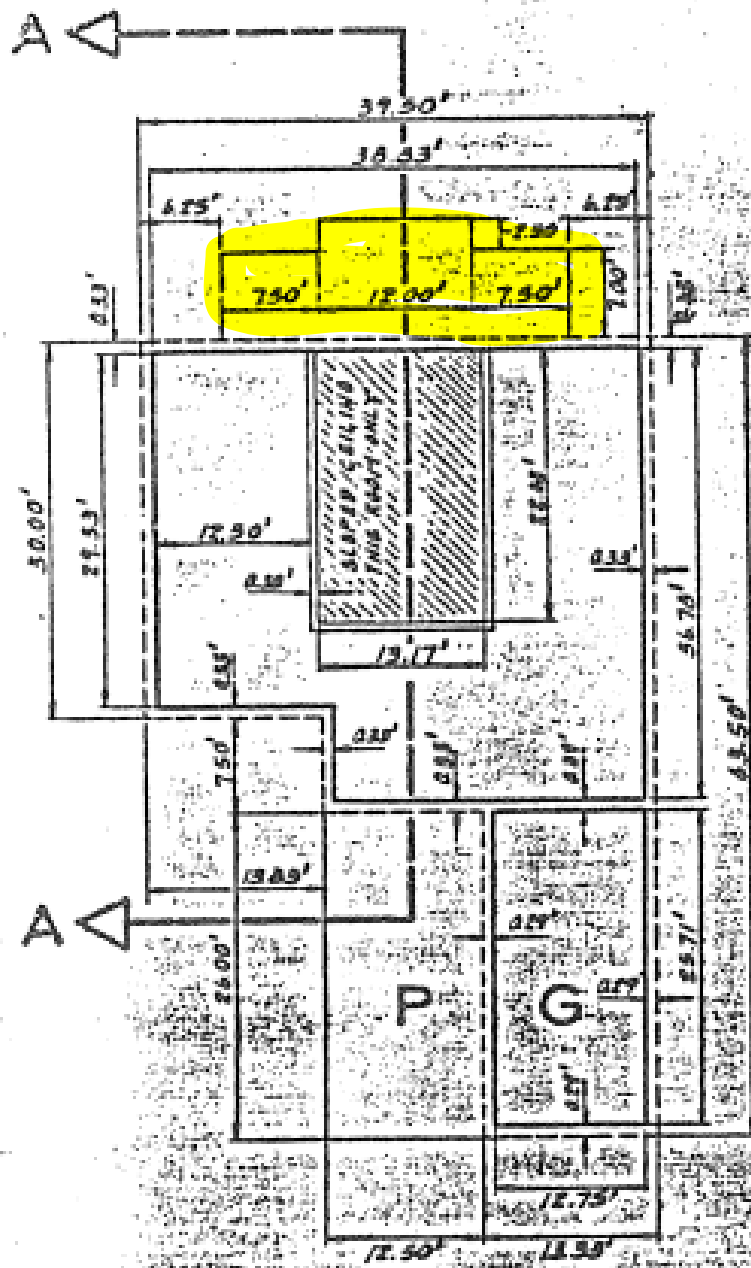




ATTACHMENT 3  
LOCATION MAP



ATTACHMENT 3  
TRACT MAP



PLAN P-46  
A-EXTERIOR  
SEE SECTION A-A

ATTACHMENT 4  
EXISTING FLOOR PLAN

PIC #4



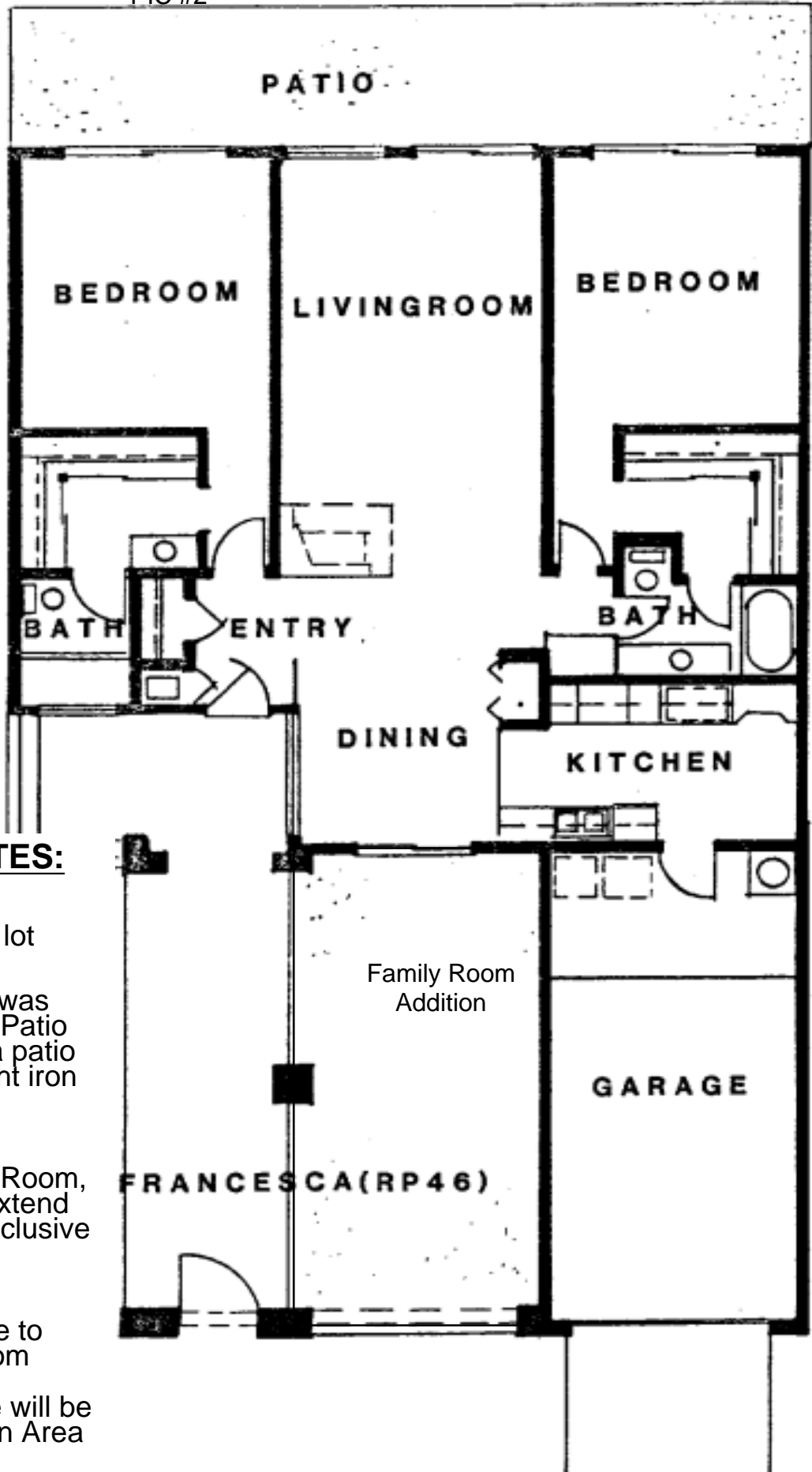
PIC #3



PIC #2



PIC #1



**GENERAL NOTES:**

1. 3507-A is a corner lot
2. A Mutual Consent was approved in 1977 for Patio Slab Extension with a patio block wall and wrought iron gate
3. Bedroom 1, Living Room, and Bedroom 2 will extend into Rear Patio on Exclusive Common Area.
4. Divider wall will be installed in the garage to create a Laundry Room
5. Second Patio Gate will be installed into Common Area

# ATTACHMENT 4 SCOPE PLAN(S) PROPOSED

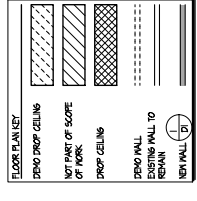
# AI

PROJECT DATE: 04/14/2022

## FLOOR PLAN NOTES

1. EXISTING CABINETS WITH GARABAGE DISPOSAL
2. EXISTING IN-BLIND DOOR COATING REMOVE PER EXISTING FLOOR AND COATING TO BE REPLACED WITH A FINISH MATCHING THE ADJACENT EXISTING
3. EXISTING DOOR COATING REMOVE PER EXISTING FLOOR AND COATING TO BE REPLACED WITH A FINISH MATCHING THE ADJACENT EXISTING
4. EXISTING COUNTER TOPS TO BE REMOVED AND REPLACED WITH NEW
5. EXISTING CABINETRY TO BE REMOVED AND REPLACED WITH NEW
6. EXISTING RESISTANT SHOWER ENCLOSURE FULLY TEMPLERED OR LAMINATED SHEET GLASS TO BE REMOVED
7. EXISTING FLOOR COVERING TO BE REMOVED AND REPLACED WITH NEW
8. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
9. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
10. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
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17. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
18. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
19. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
20. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
21. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW
22. EXISTING WALL COVERING TO BE REMOVED AND REPLACED WITH NEW

**NOTE:**  
VERTICAL CLEARANCE ABOVE COOKING TOP SHALL BE 24" MINIMUM UNLESS OTHERWISE NOTED. COOKING TOP SHALL BE 30" MAXIMUM UNLESS OTHERWISE NOTED. MINIMUM CLEARANCE OF 34" INCHES IS PERMITTED WHERE ONE OF THE FOLLOWING IS INSTALLED: METAL CABINET ABOVE THE COOKING TOP IS INSTALLED WITH A MINIMUM CLEARANCE OF 15" MINIMUM UNLESS OTHERWISE NOTED. METAL NOT LESS THAN 0.002" OF AN INCH THICK SHALL BE INSTALLED OVER ALL COOKING TOPS. THE INSIDE OF THE COMBUSTIBLE MATERIAL OR INSULATION SHALL BE PROTECTED WITH AN INSULATION COVERING APPROXIMATELY 1/8" MINIMUM OVER THE APPLIANCE LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

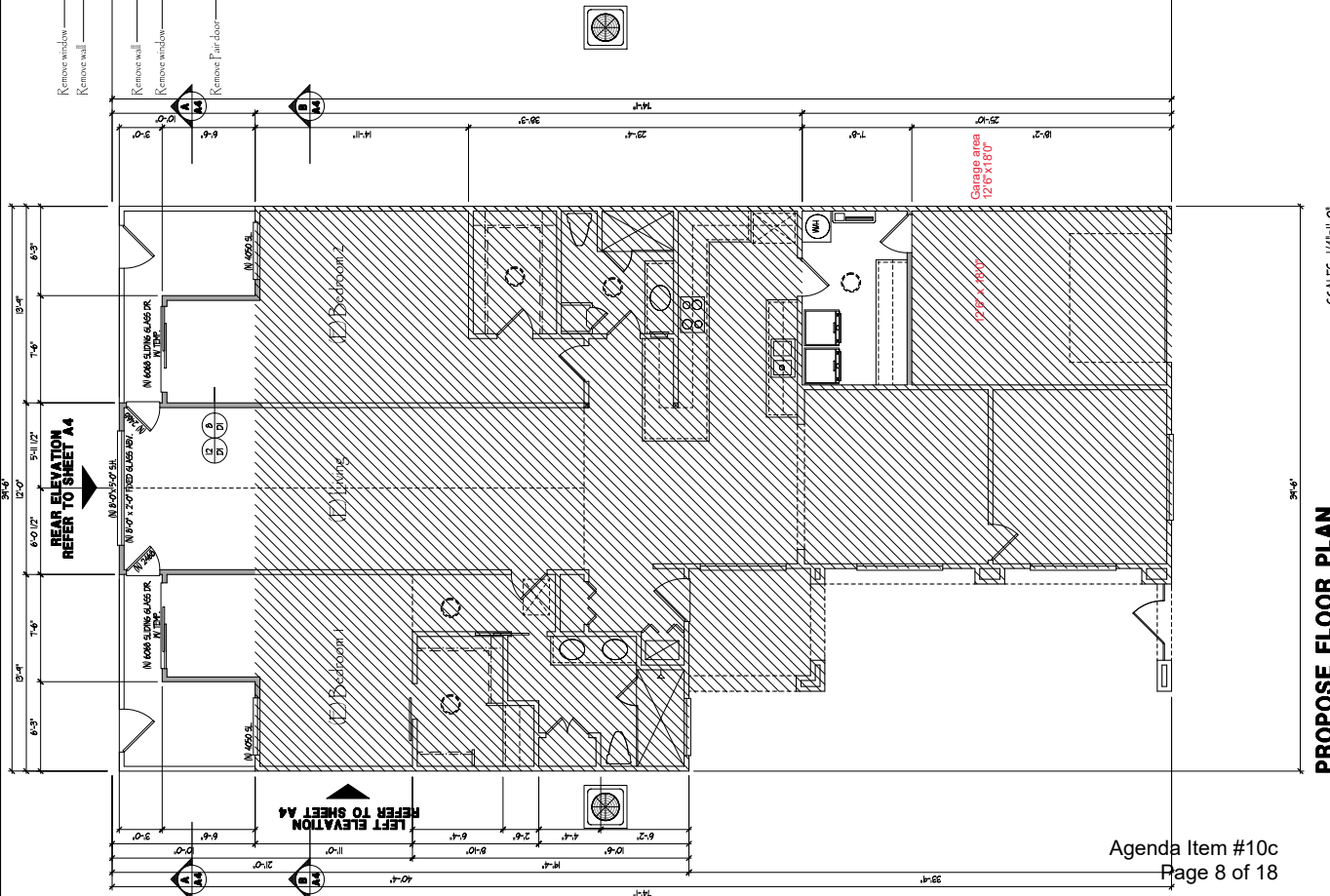
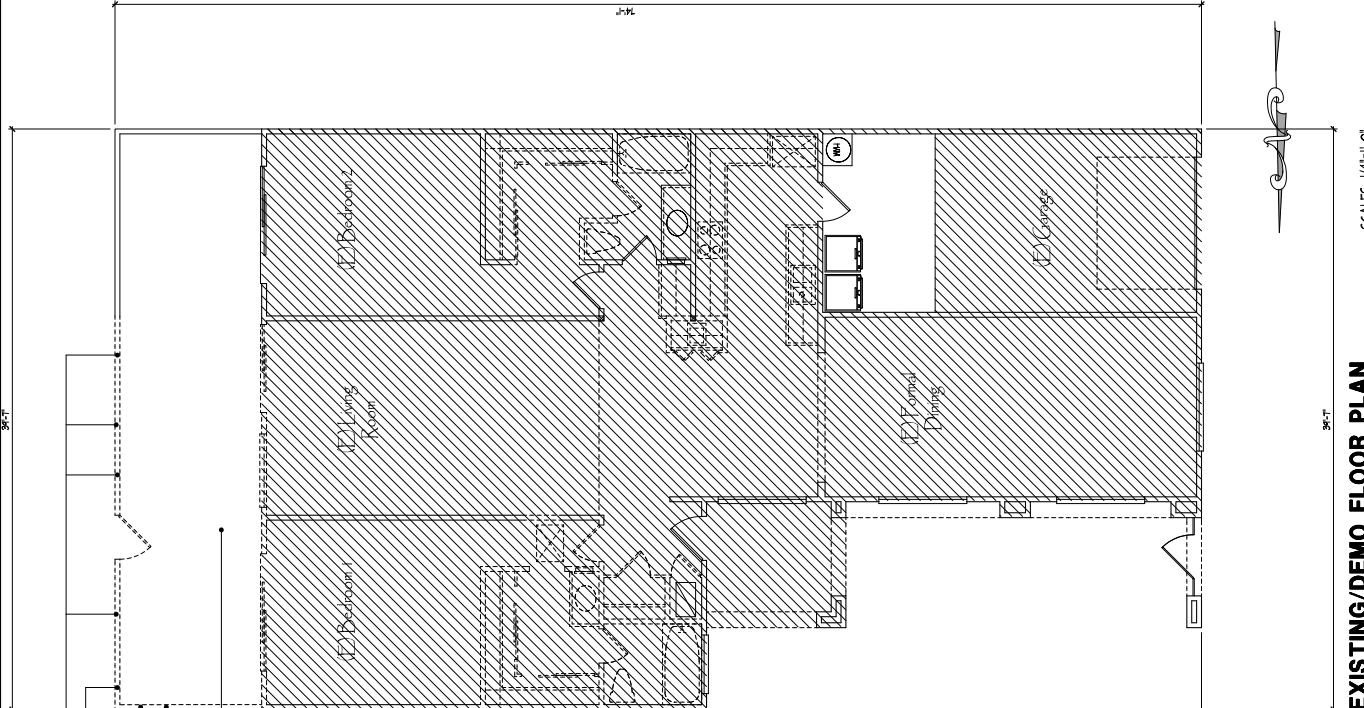


**NOTE:**  
HABITABLE ROOMS SHALL NOT BE LESS THAN 7'-0" IN ANY HORIZONTAL DIMENSION (SAC 1804.2) EXCEPT FIBER-GLASS REINFORCED PLASTER OR GYPSUM BOARD SHALL BE USED AS A BACK SHEET FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL (SAC 2504.02, 1802.2.2)

SKINNY WALLS AND PARTIAL WALLS SHALL BE FINISHED WITH A NON-ABRASIVE SURFACE FOR A MINIMUM OF 6'-0" ABOVE THE FLOOR

<b>SQUARE FOOTAGE</b>	<b>EXISTING FLOOR</b>	<b>PROPOSED ADDITION</b>	<b>TOTAL SQ. FT.</b>
	1464 sq ft	1864 sq ft	1864 sq ft

FOR CLARIFICATION SEE SHEET 1 - DIMENSIONS SUBJECT TO STATE OF IOWA





# ATTACHMENT 4 SCOPE PLAN(S) PROPOSED

A2

**CONCRETE PLACEMENT**  
CONCRETE SHALL BE PLACED IN LIFTS AND VIBRATED TO PREVENT SEGREGATION AND AIR ENTRAINMENT. CONCRETE SHALL BE PLACED OVER A MINIMUM OF 1" CLEAN SAND AND OVER 6 MIL VIBRATED OVER 1" CLEAN SAND.

**CONCRETE SLABS**  
CONCRETE SLABS SHALL BE PLACED OVER A MINIMUM OF 1" CLEAN SAND AND OVER 6 MIL VIBRATED OVER 1" CLEAN SAND.

**CONCRETE STUOPS**  
CONCRETE STUOPS SHALL BE PROVIDED AT EACH EXTERIOR CORNER AND AT ALL OTHER LOCATIONS WHERE THE CONCRETE SHALL BE PLACED IN LIFTS. STUOPS SHALL BE A MINIMUM OF 1/2" HIGHER THAN THE CONCRETE SLAB AND SHALL BE A MINIMUM OF 3/4" THICK. STUOPS SHALL BE ATTACHED TO ROOF BY 4 REBARS.

**CONCRETE JOINTS**  
CONCRETE JOINTS SHALL BE PROVIDED AT THE FRONT OR REAR EXTERIOR CORNER OR AT ALL OTHER LOCATIONS WHERE THE CONCRETE SHALL BE PLACED IN LIFTS. JOINTS SHALL BE A MINIMUM OF 3/4" THICK. JOINTS SHALL BE ATTACHED TO ROOF BY 4 REBARS. JOINTS SHALL BE FINISHED WITH A 1/2" RADIUS.

INDICATED DEEP IN SLAB SEE DETAILS

**ROOF NOTES**

1. ROOF SURFING
2. ROOF MATERIAL
3. ALL DAVIS AND RANGES SHALL BE 2" OIL SLAG
4. PROVIDE 6" VALLEY FLASHING AT ALL ROOF VALLEYS
5. PROVIDE SABLE AND FLASHING AT CORNER DAVIS TYPICAL
6. LINE OF STRUCTURE

**ATTIC VENT CALCULATIONS**

THE ATTIC VENTILATION CALCULATIONS PER LOCAL SECTION 1003.03 AS VENTILATED (SEE LOCAL SECTION 1003.03) SHALL BE AS FOLLOWS:

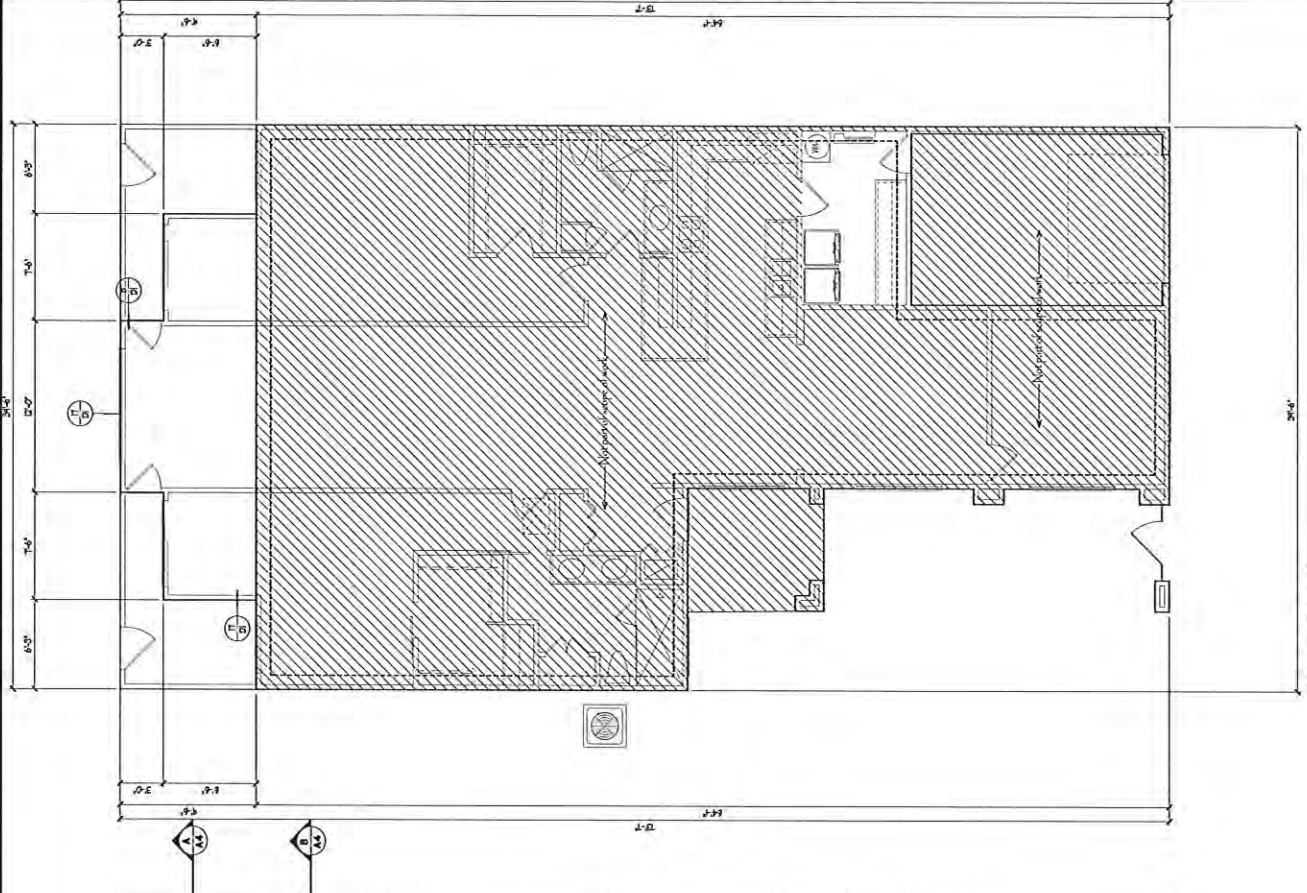
(A) TOTAL SQUARE FEET OF NET FREE VENTILATION AREA SHALL BE AS FOLLOWS:

(B) TOTAL SQUARE FEET OF NET FREE VENTILATION AREA SHALL BE AS FOLLOWS:

(C) TOTAL SQUARE FEET OF NET FREE VENTILATION AREA SHALL BE AS FOLLOWS:

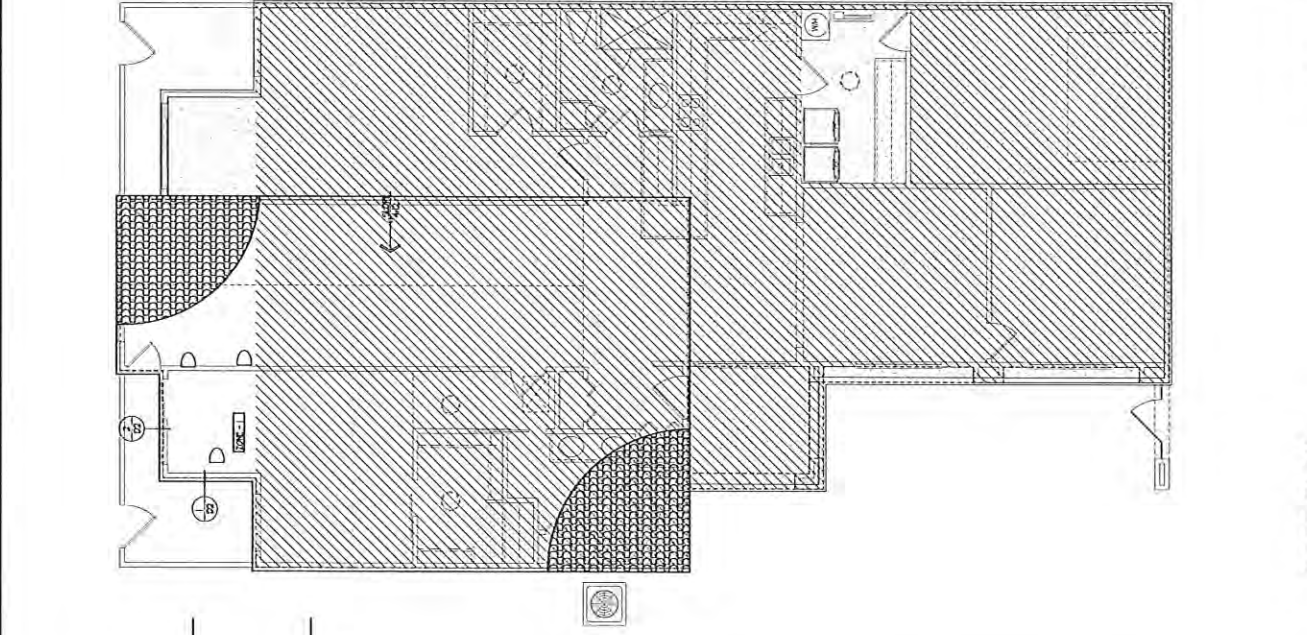
PLAN	A	B	C	D
ATTIC AREA	200	200	200	200
VENT AREA	200	200	200	200
VENT TYPE	0	0	0	0
VENT SIZE	0	0	0	0
VENT LOCATION	0	0	0	0
VENT TYPE	0	0	0	0
VENT SIZE	0	0	0	0
VENT LOCATION	0	0	0	0

**ATTIC VENTS**  
ALL VENT OPENINGS SHALL BE COVERED BY 1/4" CONCRETE REINFORCING METAL MESH. ALL VENTS SHALL BE COVERED BY 1/4" CONCRETE REINFORCING METAL MESH. ALL VENTS SHALL BE COVERED BY 1/4" CONCRETE REINFORCING METAL MESH. ALL VENTS SHALL BE COVERED BY 1/4" CONCRETE REINFORCING METAL MESH.



SLAB PLAN

SCALE: 1/4"=1'-0"



ROOF PLAN

SCALE: 1/4"=1'-0"

# ATTACHMENT 4 SCOPE PLAN(S) PROPOSED

# A4

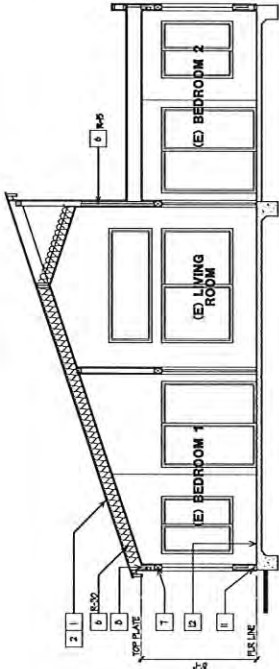
PILOT DATE: 01/31/2022

### SECTION NOTES

1. ROOF MATERIAL (REFER TO ROOF NOTES)
2. ROOF SCHEMATIC (REFER TO FRAMING PLAN)
3. 2 X ROOF RAFTERS (REFER TO FRAMING PLAN)
4. EXTERIOR FINISH (REFER TO ELEVATION NOTES)
5. 2 X CEILING JOISTS (REFER TO FRAMING PLAN)
6. INSULATION (REFER TO ENERGY COMPLIANCE SHEET)
7. FLOOR (REFER TO FRAMING PLAN)
8. CONCRETE SLAB (REFER TO FOUNDATION PLAN)
9. 2 X STUDS AT 16" O.C.
10. 2 X BLOCKS AT 16" O.C.
11. 2 X FLOOR SILL PLATE
12. CONCRETE SLAB (REFER TO STRUCTURAL FOUNDATION PLAN)

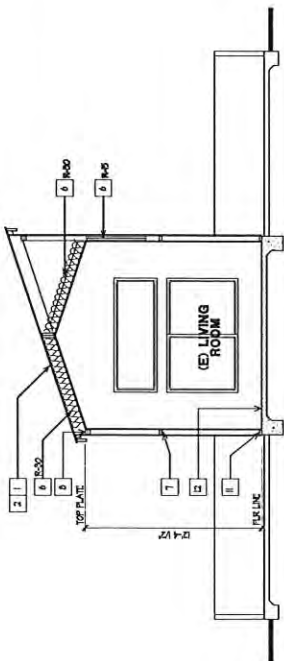
### ELEVATION NOTES

1. 18" STUCCO (REFER TO GENERAL NOTES)
2. CONTIGUOUS 6" STUCCO (REFER TO DETAIL)
3. ROOF MATERIAL (REFER TO ROOF NOTES)
4. ROOF PANDA OR DANGLE BOARD (SEE ELEVATIONS FOR SIZE)
5. LINE OF CEILING



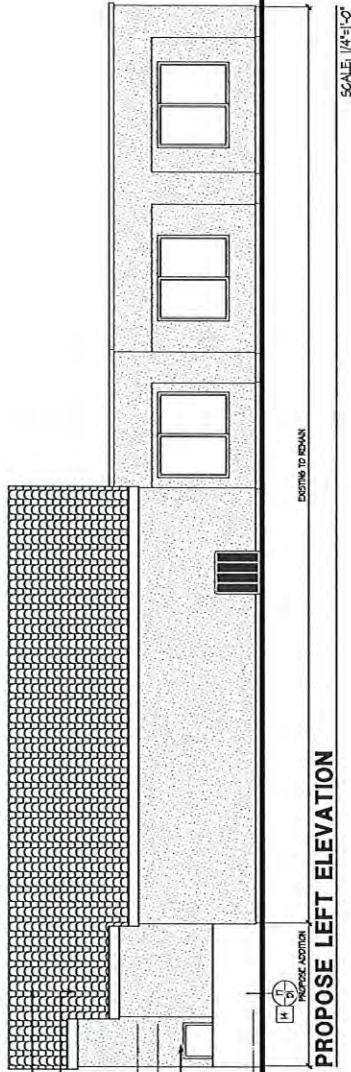
SECTION 'A'

SCALE: 1/4"=1'-0"



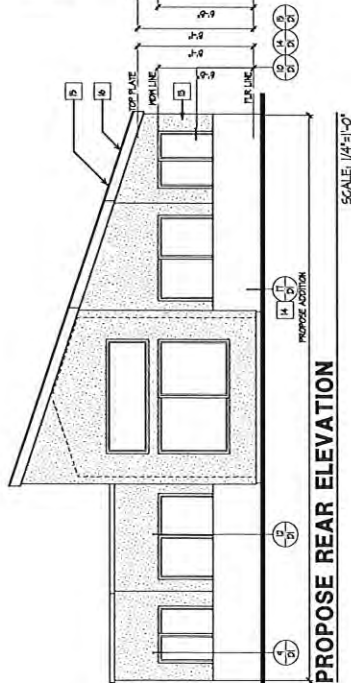
SECTION 'B'

SCALE: 1/4"=1'-0"



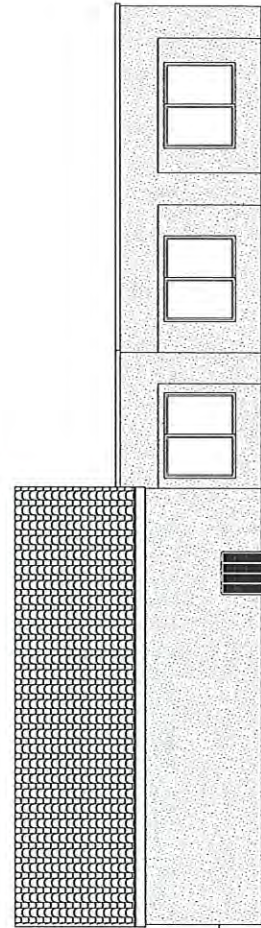
PROPOSED LEFT ELEVATION

SCALE: 1/4"=1'-0"



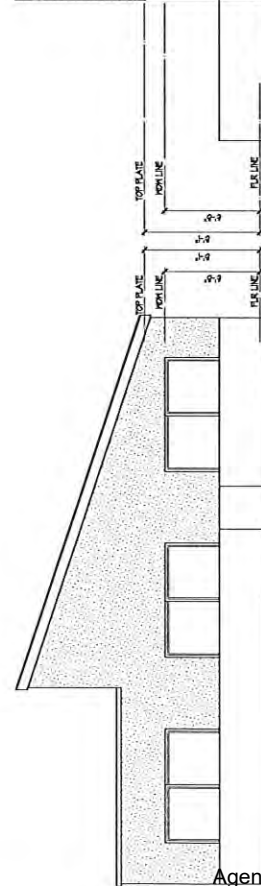
PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"



EXISTING LEFT ELEVATION

SCALE: 1/4"=1'-0"



EXISTING REAR ELEVATION

SCALE: 1/4"=1'-0"



## **SECTION 17 GATES**

SEPTEMBER 1981

REVISED APRIL 1996, RESOLUTION M3-96-28

REVISED MAY 2008, RESOLUTION 03-08-42

GENERAL REQUIREMENTS REVISED APRIL 2011, RESOLUTION 03-11-49

GENERAL REQUIREMENTS REVISED JANUARY 2018, RESOLUTION 03-18-12

REVISED MARCH 2018, RESOLUTION 03-18-43

### **1.0 GENERAL REQUIREMENTS**

See Standard Section 1: General Requirements

### **2.0 APPLICATIONS – PATIO WALLS**

- 2.1 No single gate will be of two pieces or require more than three hinges for attachments.
- 2.2 All gates, other than wrought iron, will be painted to match the color of the wall or the building in accordance with Mutual painting policy. Gates shall match existing gates and fences.
- 2.3 Gates may be installed that open into limited common area; also where limited access to entryways does not obstruct necessary access to common areas.
- 2.4 Gates will be constructed of vinyl or wrought iron only.
- 2.5 Gates shall match existing design and construction.
- 2.6 Gates shall be no higher than the wall in which they are part of, with the exception of decorative or radiused finished tops.

### **3.0 APPLICATIONS – PATIO RAILINGS IN THREE STORY BUILDINGS**

- 3.1 This section addresses gates cut into existing metal, or wood, patio railings in three story buildings.
- 3.2 Gates can be installed only if the Common Area made accessible by the gate is safe to traverse considering factors such as the slope of the land and the landscaping, as determined by Staff.

**CONDITIONS OF APPROVAL**

**Manor:** 3507-A

**Variance Description:** Extend Bedroom 1, Bedroom 2, and Living Room on Approved Rear Patio Slab Extension, Install Patio Gate on Rear Patio into Common Area, and Install a Wall in the Garage to Create a Laundry Room

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of bedrooms or the original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.
- A.5. Roofing must be in strict conformance with the I.B.C., Third Mutual Standards, and standard drawings.

B. Materials and Methods:

- B.1. Any piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations through framing.



C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.
- C.3. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.
- C.4. Prior to the issuance of a Mutual Consent for Manor Alterations, the Member shall request a Broadband infrastructure inspection to assure that Mutual property is appropriately identified in order to be addressed during construction.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.

- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

**General Conditions:**

G. General Conditions

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 3507-A, (“Property”) within the Third Laguna Hills Mutual (“Mutual”) without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. (“VMS, Inc.”), Alterations Division (“Division”), or, in the event of a Variance from the Mutual’s Alteration Standards, the Architectural Control and Standards Committee (“ACSC”). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members (“Member”) agrees to comply with the Mutual’s Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department , and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.
- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property’s Member at 3507-A and all future Mutual Members at 3507-A.

- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. The expiration date of the Variance is 180 days from the Notice of Approval of the Variance issued by Manor Alterations.
- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.



- G.12. All construction, including demolition, must be completed within 180 days or 6 months from the Notice of Approval of the Variance issued by Manor Alterations via Mutual Consent.
- G.13. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.14. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.15. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.16. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.17. During construction, both the Mutual Consent for Alterations and the City Building Permit must be on display for public view at all times in a location approved by the Division.
- G.18. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.19. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of

Laguna Woods waste hauler and must be maintained at all times.

- G.20. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.21. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.22. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.23. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.24. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.

ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-22-XX**

**Variance Request**

**WHEREAS**, Mr. Chin Feng Tang of 3507-A Bahia Blanca West, a Casa Rosa style manor, requests Architectural Controls and Standards Committee approval of a variance to extend bedroom 1, bedroom 2, and living room on approved rear patio slab extension, install patio gate on rear patio, and install a wall in the garage to create a laundry room; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on October 24, 2022; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance to extend bedroom 1, bedroom 2, and living room on approved rear patio slab extension, install patio gate on rear patio, and Install a wall in the garage to create a laundry room;

**NOW THEREFORE BE IT RESOLVED**, on October 24, 2022, the Architectural Controls and Standards Committee hereby approves the request to extend bedroom 1, bedroom 2, and living room on approved rear patio slab extension, install patio gate on rear patio, and install a wall in the garage to create a laundry room; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3507-A Bahia Blanca West and all future Mutual Members at 3507-A Bahia Blanca West; and

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.



# Manor 3212-D

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ATTACHMENT 1  
VARIANCE REQUEST  
FORM

MANOR # 3212-D

ULWM

TLHM

Variance Request Form

SA

<b>Model:</b> La Reina	<b>Plan:</b> PL-804R-C	<b>Date:</b> 07-22-2022
<b>Member Name:</b> Ralph & Alice Riggan	<b>Signature</b> [Redacted]	
<b>Phone:</b> [Redacted]	<b>Email:</b> [Redacted]	
<b>Contractor Name/Co:</b> FHI Constructions Inc.	<b>Phone:</b> 714-244-2171	<b>Email:</b> fhilaguna@gmail.com

**Description of Proposed Variance Request ONLY:**

1- Convert the open space area in between the garage and the master bedroom into an enclosed larger family and laundry room. This scope of work is done based on approved design and plans by HOA and City approval.

~~2- Add a new window to Master Bedroom. (5x4') - Qualifies as OTC Mutual Consent~~

**Dimensions of Proposed Variance Alterations ONLY:**

1- Laundry Room :9'-8" x 6'-10"

2- Family Room : 9'-8" x 15'- 8"

**FOR OFFICE USE ONLY**

RECEIVED BY: CCM DATE RECEIVED: 10/14/22 Check# CC 08076D By: Don Riggan

<b>Alteration Variance Request</b>	<b>Complete Submittal Cut Off Date:</b> <b>PAID</b>
<b>Check Items Received:</b> <input type="checkbox"/> Drawing of Existing Floor Plan <input type="checkbox"/> Drawing of Proposed Variance <input type="checkbox"/> Dimensions of Proposed Variance <input type="checkbox"/> Before and After Pictures <input type="checkbox"/> Other: _____ _____	<b>Meetings Scheduled:</b> Third AC&S Committee : _____ United AC&S Committee: _____ Board Meeting: _____ <input type="checkbox"/> Denied <input type="checkbox"/> Approved <input type="checkbox"/> Tabled <input type="checkbox"/> Other _____



ATTACHMENT 2  
PHOTOS



View facing East towards the proposed  
Family and Laundry Room  
PIC #1



View facing North East towards the  
driveway  
PIC #2



ATTACHMENT 2  
PHOTOS



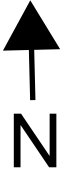
View facing North towards 3212-D  
PIC #3

ATTACHMENT 3  
AERIAL

3212-D  
Via  
Carrizo

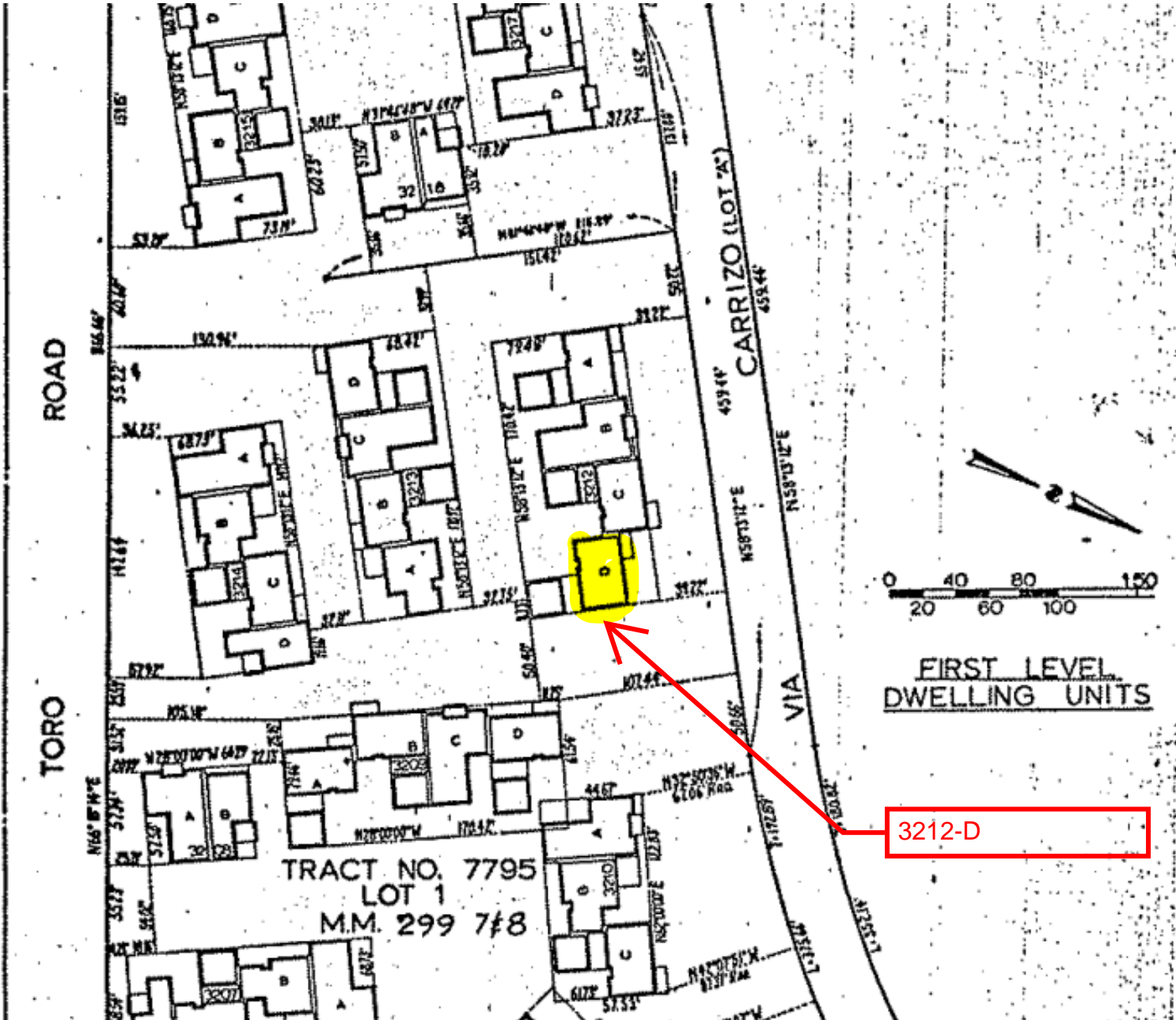


SYMBOL DENOTES LOCATION OF MANOR



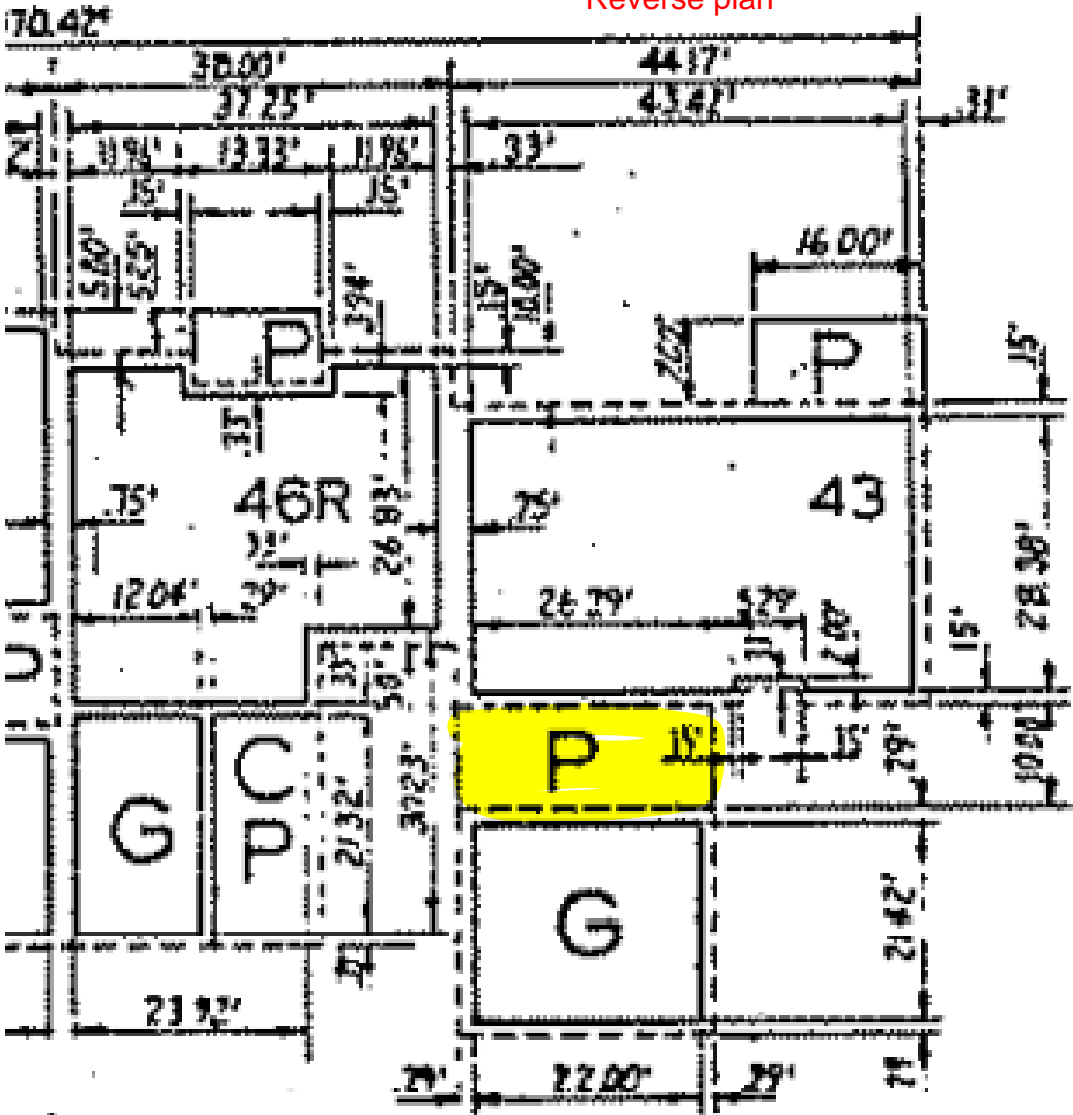


ATTACHMENT 3  
LOCATION MAP



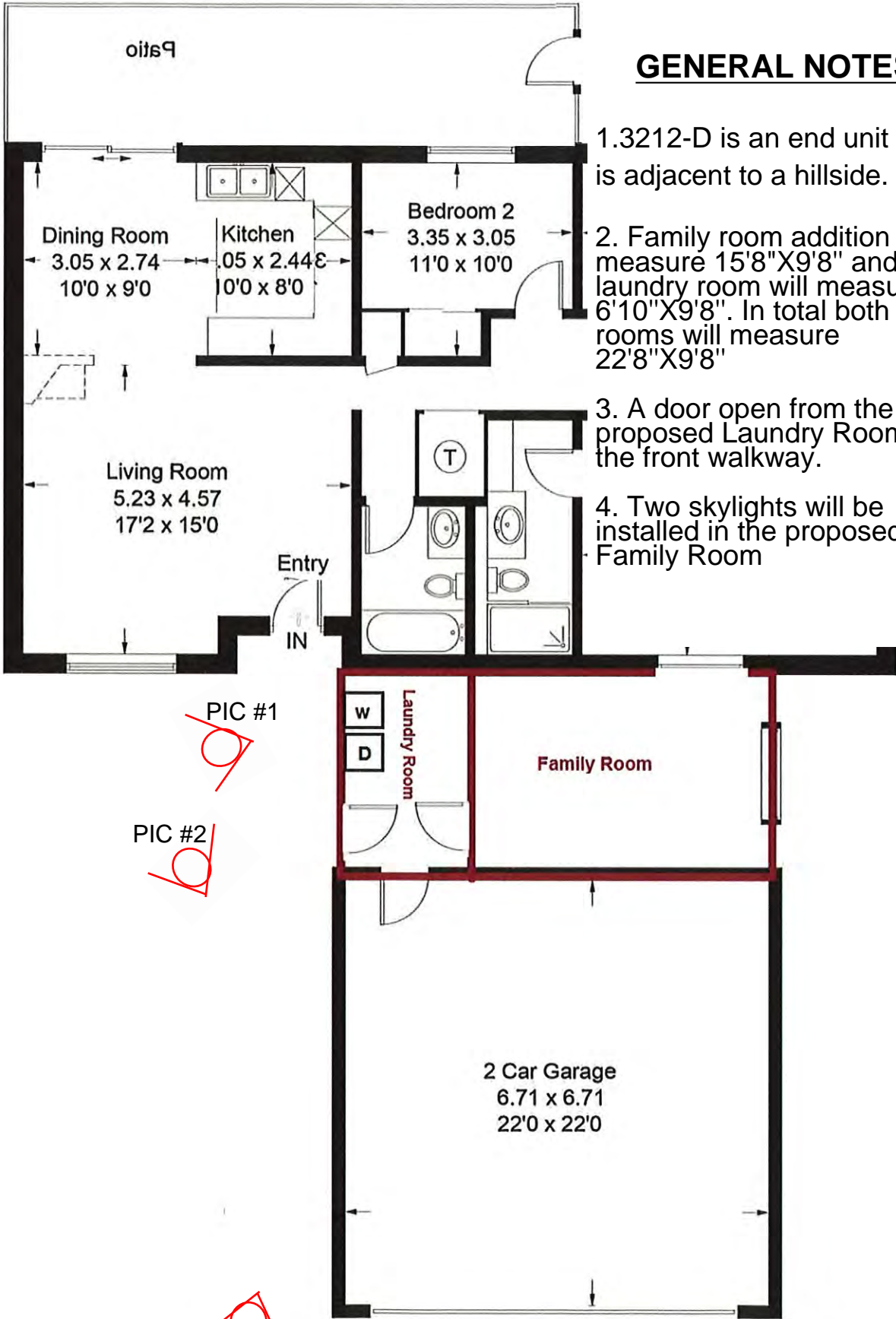
ATTACHMENT 3  
TRACT MAP

Reverse plan





ATTACHMENT 4  
SCOPE PLAN(S)  
PROPOSED



**GENERAL NOTES:**

- 1. 3.212-D is an end unit that is adjacent to a hillside.
- 2. Family room addition will measure 15'8"X9'8" and the laundry room will measure 6'10"X9'8". In total both rooms will measure 22'8"X9'8"
- 3. A door open from the proposed Laundry Room to the front walkway.
- 4. Two skylights will be installed in the proposed Family Room

PIC #3



# ATTACHMENT 4 SCOPE PLAN(S) PROPOSED

AI

## FLOOR PLAN NOTES

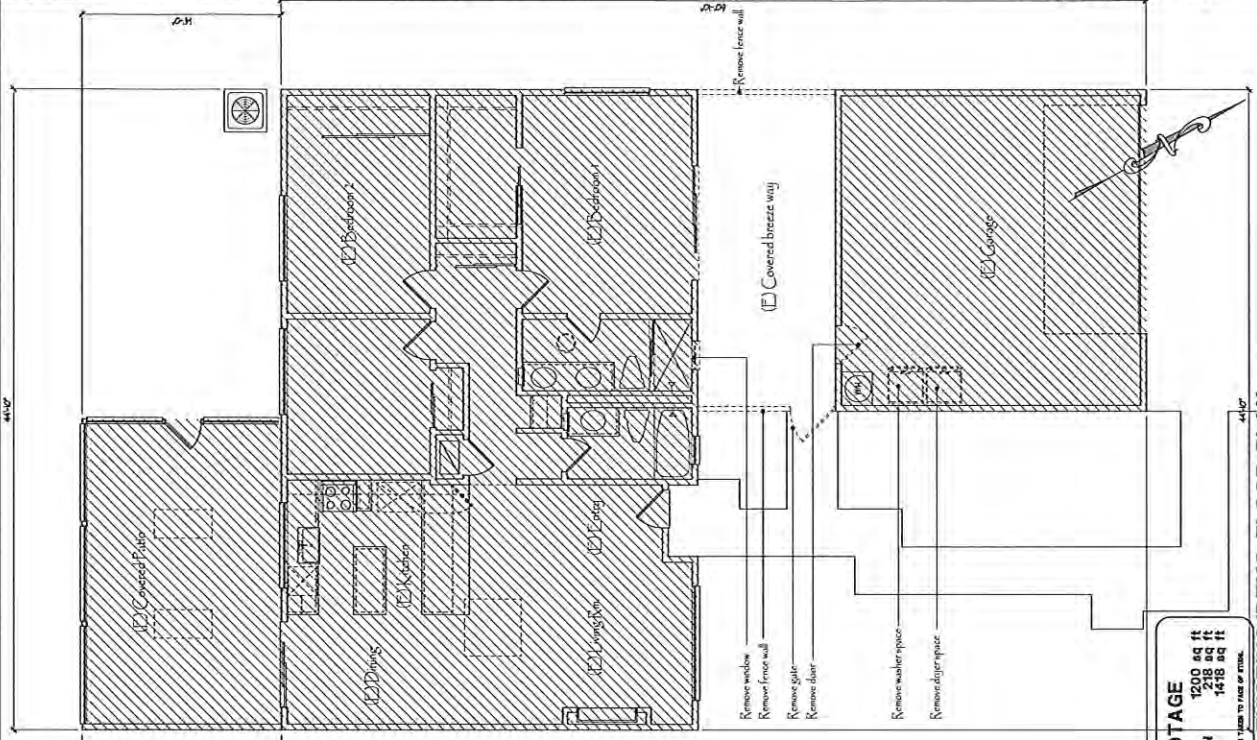
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PLANT DATE: 01/11/2022

- NOTES:**
- 1. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.01.
  - 2. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.02.
  - 3. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.03.
  - 4. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.04.
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  - 49. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.49.
  - 50. ALL DEMO WORK SHALL BE IN ACCORDANCE WITH THE CITY OF LOS ANGELES ORDINANCE 18.01.50.

**LEGEND:**

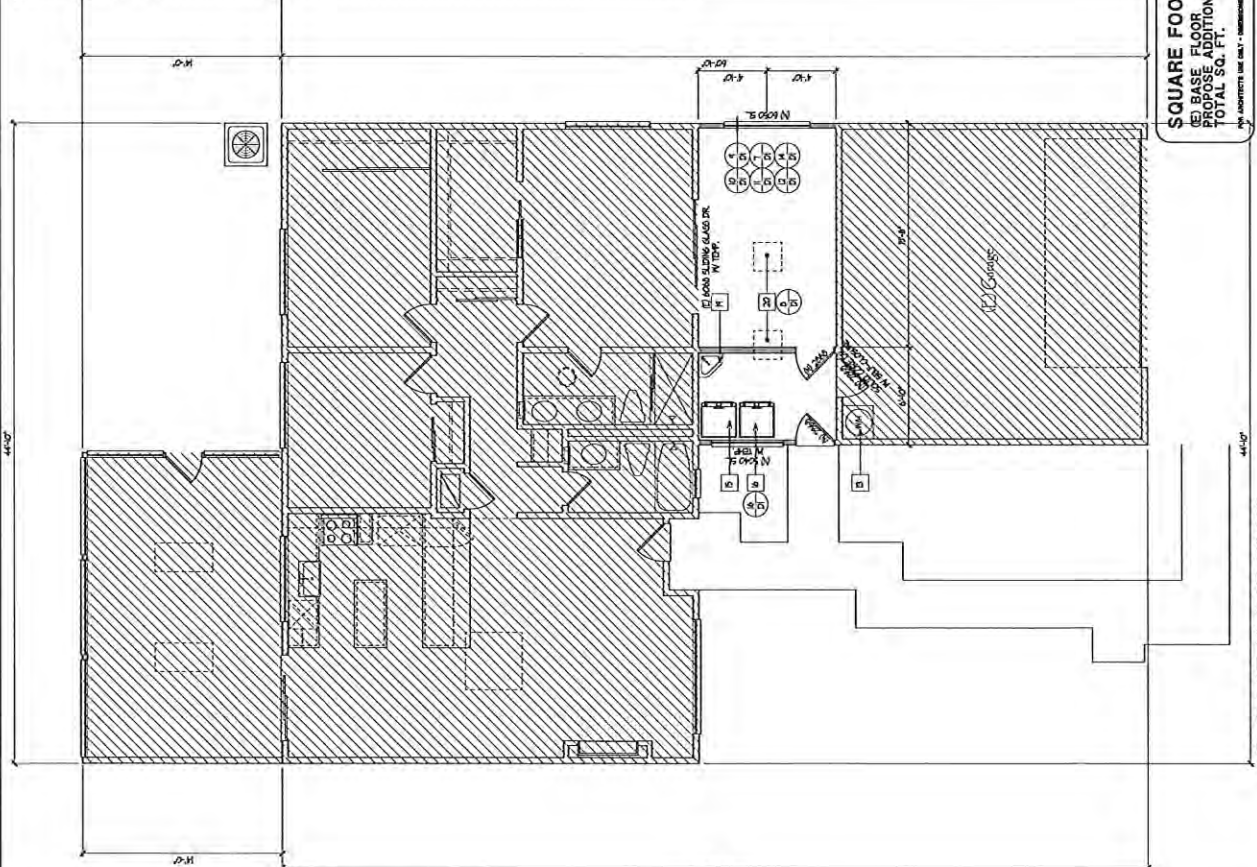
- DEMO DROP CEILING
- REMOVE PART OF SCOPE OF WORK
- DEMO CEILING
- DEMO WALL
- DESTROY WALL TO REMAIN
- NO WALL (0)



SQUARE FOOTAGE	
EXIST. BASE FLOOR	1200 sq ft
PROPOSED ADDITION	1438 sq ft
<b>TOTAL SQ. FT.</b>	<b>2638 sq ft</b>

FOR INFORMATION USE ONLY - BASED ON 1/4"=1'-0" SCALE

**EXISTING/DEMO FLOOR PLAN**  
SCALE: 1/4"=1'-0"

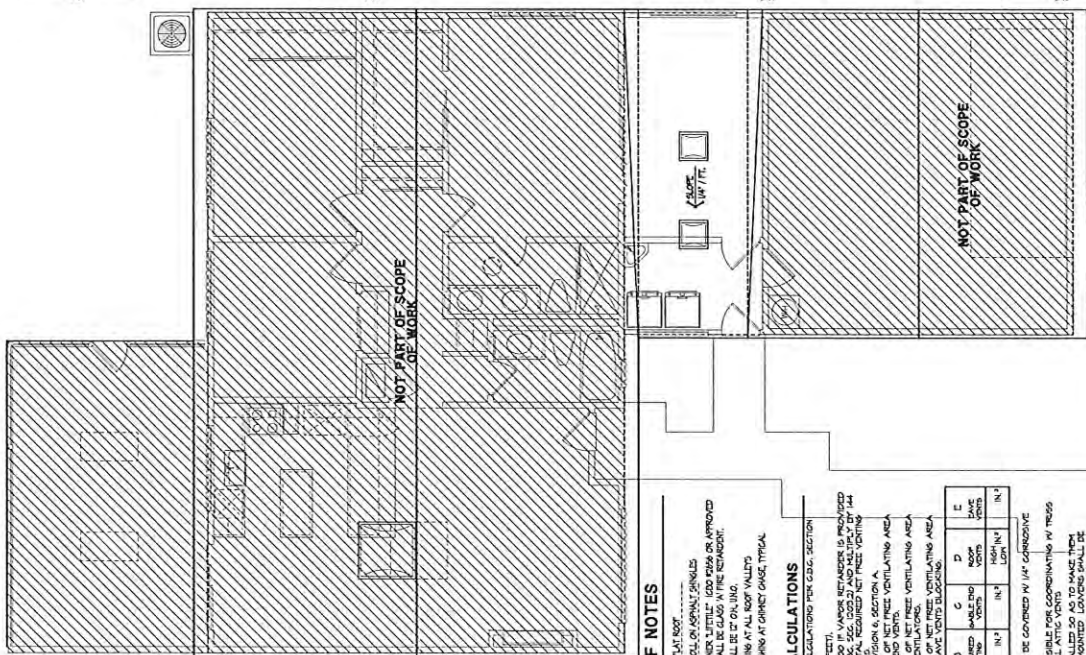
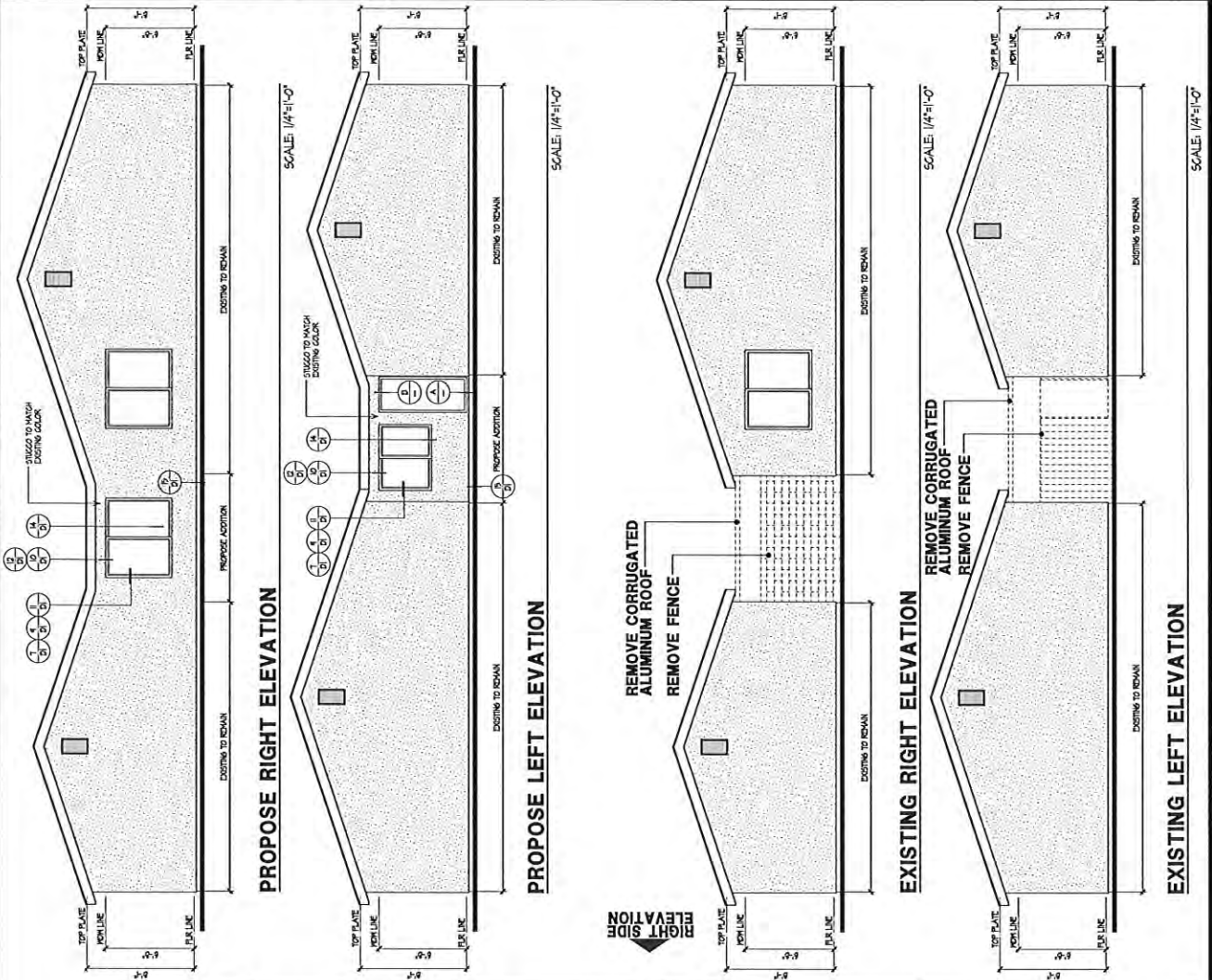


**PROPOSE FLOOR PLAN**  
SCALE: 1/4"=1'-0"



# ATTACHMENT 4 ELEVATION PLAN(S) PROPOSED

A4



**ROOF NOTES**

- ROOF MATERIAL SHALL BE ASPHALT/FLYSHINGLE
- ROOF FLASHING SHALL BE COPED TO MATCH EXISTING FLASHING
- ALL DASHED AND DIMED SHALL BE 2\"/>

**ATTIC VENT CALCULATIONS**

THE ATTIC VENTILATION CALCULATIONS PER C.G.C. SECTION 105.3 AS FOLLOWS:

- PROVIDE (A) BY 100 R-1000 IF VAPOR RETARDER IS PROVIDED AT PENETRATIONS PER C.G.C. SEC. 105.23 AND VENTILATED BY 144 AREA IN SQUARE INCHES PER SECTION 6, SECTION A.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END VENTS.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF VENTILATORS.
- TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ATTIC VENTS PER SECTION 6, SECTION A.

PLAN	A	B	C	D	E
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**ATTIC VENTS**

ALL VENT OPENINGS SHALL BE COVERED BY 1/4\"/>

**ROOF PLAN**

SCALE: 1/4\"/>



**CONDITIONS OF APPROVAL**

**Manor:** 3212-D

**Variance Description:** Install Family Room and Laundry Room between Master Bedroom and Garage

A Variance for Alterations has been granted at the above manor, subject to the attached plans stamped approved and is subject to a final inspection by the Division. Any variations to the approved attached plans are not allowed and could result in a stop work notice and/or disciplinary action taken against the Member.

**Manor-Specific Conditions:**

A. General Comments:

- A.1. Due to this approval involving the use of Common Area, the member shall provide to Manor Alterations a copy of the Grant Deed and Legal Description for the unit, prior to application for Mutual Consent for Demolition and Alteration, for use in preparation of the "Recordable Common Area Agreement" as mentioned in Section G General Conditions.
- A.2. This approval does not change the number of original maximum occupants permitted in the Unit.
- A.3. The Member shall provide plans, specifications, and calculations from a duly licensed architect or structural engineer to conform to the Building Code for all foundation, framing, and beam additions for the work of this variance.
- A.4. A City of Laguna Woods Building Permit will be required and provided to Manor Alterations to verify all code requirements for new or modified structural components, and shoring have been satisfied.

B. Materials and Methods:

- B.1. Any piping in bathrooms with adjacent units shall be insulated for sound reduction, including penetrations through framing.

C. Requirements for Mutual Consent for Alterations:

- C.1. Prior to the Issuance of a Mutual Consent for Alterations, a complete set of unit specific plans, specifications and calculations prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- C.2. Prior to the Issuance of a Mutual Consent for Alterations, the Member must have conducted an inspection of the waste lines, by a VMS Plumber, to assure no repairs are needed. The inspection will be a chargeable service to the Member. Inspection appointments are to be made with Resident Services, by authorized persons only. Findings from the video inspection will be recorded on the chargeable service ticket for Alterations staff to review.
- C.3. Prior to the Issuance of a Mutual Consent for Alterations, if required, the Member shall verify with Plumbing if the manor plumbing has been treated with an ePIPE Epoxy Barrier, to assure that Mutual property is appropriately addressed during construction. Any repair or connection to the epoxy coated pipe should be performed in such a manner that the repair or the remodel of the existing system does not damage the epoxy barrier. Before repairing or remodeling any ACE Duraflo epoxy barrier, call 800-359-6369 to ensure the proper technique is used for the specific repair or remodel.
- C.4. Prior to the issuance of a Mutual Consent for Alterations, if required, a Mutual Roof Alteration Notification ("Tie-In Form") must be submitted to the Division. All roof tie-ins must be performed by a C-39 Licensed Contractor. The Member may hire a C-39 Licensed Contractor of his/her own choice to perform roof tie-ins for the installation of solar panels on all roof types except PVC Cool Roofs. For PVC Cool Roofs, regardless of the roof type, all tie-ins must be performed by the Mutual's roofing contractor at the Member's expense. All tie-ins may only be made to sound structural elements. Existing structural elements proposed to be tied to, which exhibit signs of dry rot or other structural defects, must first be replaced or repaired at the Member's expense during construction of the improvement.
- C.5. Prior to the Issuance of a Mutual Consent for Alterations, the Member shall request a Landscape Department inspection in order to assure all landscape, irrigation, and drainage modifications associated with the improvements are identified and completed by the Landscape Department at the expense of the Member. All gutter drainage shall be directed away from structures, free standing walls, foundations, and pedestrian walkways.

D. Requirements for Final Inspection by Manor Alterations:

- D.1. Prior to Final Inspection by Manor Alterations, a scanned copy of the City-Approved and Stamped plan set shall be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict the work as completed and approved by the City, including all structural and architectural modifications.
- D.2. Prior to Final Inspection by Manor Alterations, all altered exterior surfaces should match the Building texture and color; vinyl fence/gate will be either white or taupe, tubular steel or wrought iron fence/gate will be black or existing body color of the building; the approved colors and materials are available at Resident Services, located at the Community Center first floor.

**General Conditions:**

G. General Conditions

- G.1. Conformance Deposit: Not Applicable
- G.2. No improvement shall be installed, constructed, modified or altered at 3212-D, ("Property") within the Third Laguna Hills Mutual ("Mutual") without an approved Mutual Consent for Alterations application for the improvement has been made to, and approved, in writing, by, the Village Management Services, Inc. ("VMS, Inc."), Alterations Division ("Division"), or, in the event of a Variance from the Mutual's Alteration Standards, the Architectural Control and Standards Committee ("ACSC"). In the event written permission is given for the installation, construction, modification or alteration of any improvement(s) upon the Property, the Member or Members ("Member") agrees to comply with the Mutual's Governing Documents and any specific terms or conditions imposed, and that the installation, construction, modification or alteration shall be in strict compliance with the terms of the approval.
- G.3. Member hereby consents to and grants to the Mutual and the Maintenance and Construction Department, and their representatives, a right of entry upon the Property, with reasonable notice, to inspect the permitted improvements, and for their representatives and contractors to remedy any violation upon the Property, including, but not limited to, unauthorized disturbance of regulated



materials, removing trash from common areas, removing any improvement installed without approval or modifying an improvement to bring the same into compliance with the terms of the approval. Any remedial work performed on behalf of the manor owner as a result of violations to Mutual policy and/or regulatory violations will be processed as a chargeable service.

- G.4. All costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3212-D and all future Mutual Members at 3212-D.
- G.5. Member shall be responsible for all activity by contractors, subcontractors, material suppliers and their employees and agents and any others who perform work on the Property, including any violation of the Mutual's Governing Documents, including, but not limited to, traffic and parking violations, maintenance of a clean job site at all times, damage to Mutual property, and use of Mutual property for storage of equipment or materials without prior approval. Member acknowledges and agrees that all such persons are his/her invitees. Member shall be responsible for informing all his/her invitees of the Mutual's Rules and Regulations.
- G.6. Member shall be liable for any violation of the Mutual's Governing Documents by any invitee, including any fine, assessment or other charge levied in connection therewith.
- G.7. Member is responsible for following the gate clearance process (<http://www.lagunawoodsvillage.com/residents/resident-services> and click on documents and Business Pass Application Instructions) in place to admit contractors and other invitees.
- G.8. Member's contractors and other invitees shall have business signage on vehicles and travel to and from the job site by the most direct route available and are not authorized to use Mutual recreational facilities or other amenities while they are in the Village for performance of work in connection with the Property.
- G.9. Parking of contractors or other invitees' vehicles is prohibited in covered resident parking, open resident spaces, handicapped spaces or fire lanes. Contractors or other invitees must park on the street. To the extent possible contractors' or other invitees' vehicles should be limited in number.
- G.10. The expiration date of the Variance is 180 days from the Notice of Approval of

the Variance issued by Manor Alterations.

- G.11. Member(s) of the Property must sign and submit to the Mutual, c/o VMS, Inc., at the Division office located in the Laguna Woods Village Community Center, an executed and notarized "Recordable Common Area Agreement" for a proposed improvement that would utilize any portion of the Mutual's Common Area. Prior to the issuance of a Mutual Consent for Manor Alterations, that "Recordable Common Area Agreement" must be filed with the Orange County Clerk/Recorder.
- G.12. All construction, including demolition, must be completed within 180 days or 6 months from the Notice of Approval of the Variance issued by Manor Alterations via Mutual Consent.
- G.13. A City of Laguna Woods permit may be required, which may include the requirement to obtain clearance from the South Coast Air Quality Management District (Asbestos Hot Line at (909) 396-2336). Prior to the issuance of a City of Laguna Woods permit an applicant must present the appropriate Mutual Consent issued by Manor Alterations to the City. Please complete this step with Manor Alterations prior to submitting an application to the City. Once the City issues a Building Permit, you must submit a copy of the permit with the permit number to Manor Alterations. The City permit must be finalized within the prescribed timeframe, and a copy of the final permit must be submitted to the Division within two weeks.
- G.14. Prior to the issuance of a Mutual Consent for Alterations, a complete set of unit specific plans prepared by a licensed architect or structural engineer depicting the proposed improvement must be submitted to the Division office located in the Laguna Woods Village Community Center. The plans must depict any required structural modifications ensuring the structural integrity of the building is maintained upon completion of the proposed improvement.
- G.15. All improvements must be installed in accordance with the California State Building Code, and the published Mutual Architectural Alterations Standards, Policies and Guidelines. See <http://www.lagunawoodsvillage.com>.
- G.16. During construction, work hours established by the Mutual and the Noise Ordinance set forth in the City of Laguna Woods Municipal Code must be adhered to at all times.
- G.17. During construction, both the Mutual Consent for Alterations and the City

Building Permit must be on display for public view at all times in a location approved by the Division.

- G.18. It is mandatory that no waste or materials associated with the construction be dumped in the Village trash bins; such waste or materials associated with the construction must be disposed of offsite by the contractor.
- G.19. A dumpster is approved for placement at the location identified by Security Staff by calling 949-580-1400. All dumpsters must conform to the Policy for Temporary Containers. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.20. Dumpsters must be ordered from the approved City of Laguna Woods waste hauler and must be maintained at all times.
- G.21. A portable bathroom is approved for placement at the location identified by Security Staff by calling 949-580-1400.
- G.22. The Mutual Consent for Alterations expires six months after the date of Notice of Approval issued by Manor Alterations, unless an application is submitted with fees and approved by the Division for an extension. Only one extension for a maximum of an additional six months may be granted.
- G.23. Violations of the forgoing conditions or the Mutual's Governing Documents (See <http://www.lagunawoodsvillage.com>), including, but not limited to, unpaid assessments, work outside the approved plans, excessive noise, illegal dumping, or working after hours, will result in disciplinary action, which could result in a stop work notice, loss of privileges and/or severe fines to the Member. Such fines left unpaid will result in forfeiture of a portion or all of the Conformance Deposit required above or other legal remedy.
- G.24. Member shall indemnify, defend and hold harmless Third and its officers, directors, committee Members and agents from and against any and all claims, demands, costs, fines, judgments, settlements and any other costs, expenses, amounts and liabilities arising from Member's improvements and installation, construction, design and maintenance of same.



ATTACHMENT 6  
RESOLUTION DRAFT

**RESOLUTION 03-22-XX**

**Variance Request**

**WHEREAS**, Mr. Ralph M. Riggin of 3212-D Via Carrizo, a La Reina style manor, requests Architectural Controls and Standards Committee approval of a variance for a family room and a laundry room between master bedroom and garage; and,

**WHEREAS**, a Neighborhood Awareness Notice was sent to Members of affected units notifying them that an application to make an alteration to a neighboring unit had been made and that comments or objections could be made in writing to the Architectural Controls and Standards Committee or in person at the Architectural Controls and Standards Committee Meeting on October 24, 2022; and,

**WHEREAS**, the Architectural Controls and Standards Committee reviewed the variance and moved for approval of the variance for the family room and a laundry room between master bedroom and garage;

**NOW THEREFORE BE IT RESOLVED**, on October 24, 2022, the Architectural Controls and Standards Committee hereby approves the request for a family room and a laundry room between master bedroom and garage; and

**RESOLVED FURTHER**, all costs for maintenance, repair, renovation, replacement or removal of the improvement, present and future, are the responsibility of the Property's Member at 3212-D Via Carrizo and all future Mutual Members at 3212-D Via Carrizo; and,

**RESOLVED FURTHER**, that the officers and agents of this Corporation are hereby authorized on behalf of the Corporation to carry out the purpose of this resolution.